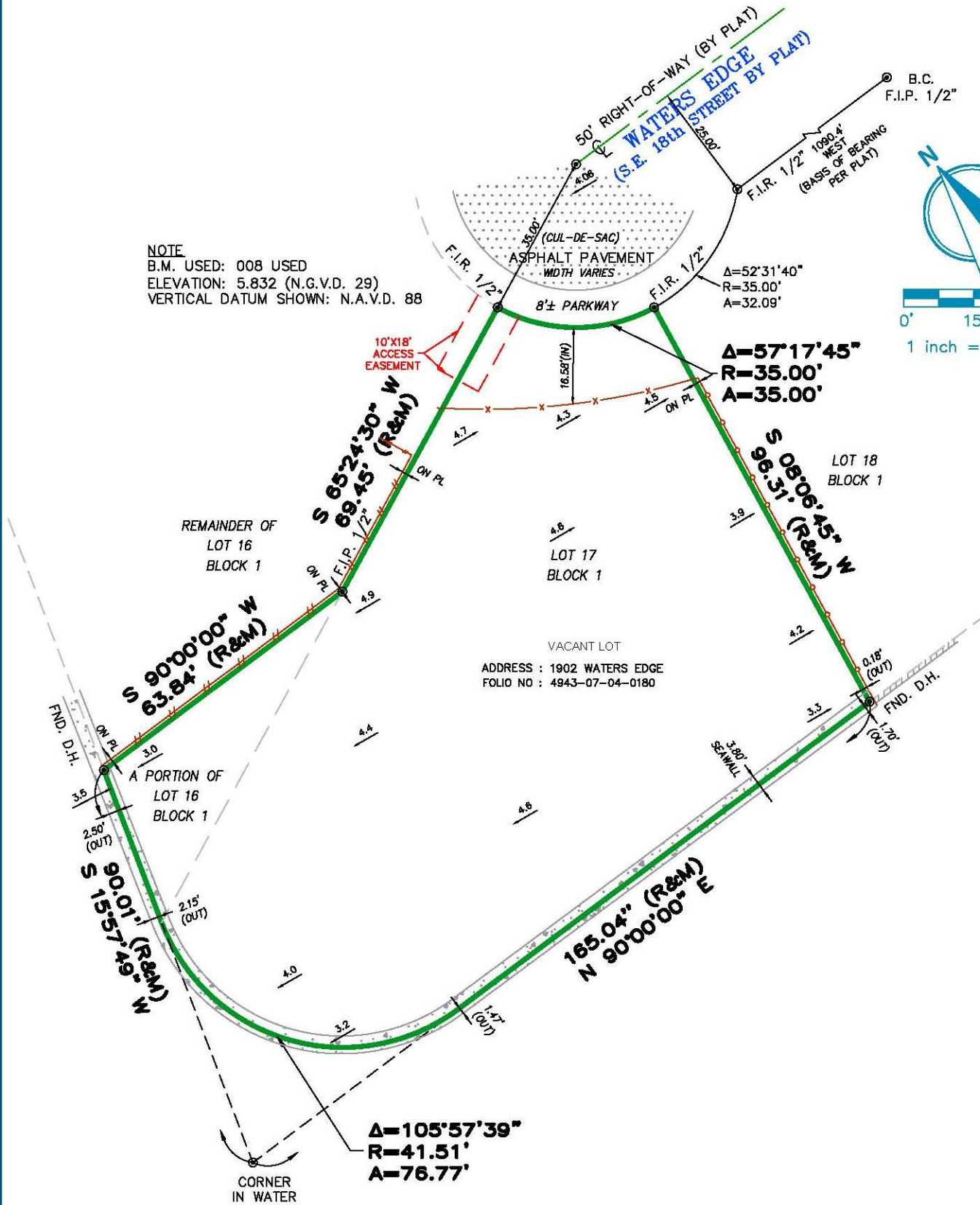


NOTE
B.M. USED: 008 USED
ELEVATION: 5.832 (N.G.V.D. 29)
VERTICAL DATUM SHOWN: N.A.V.D. 88



0' 15' 30'
1 inch = 30' ft.



POINTS OF INTEREST:
NONE VISIBLE.

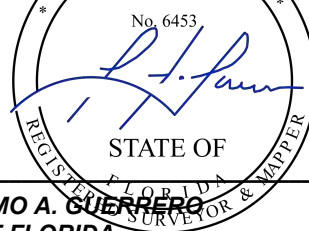
MAP OF BOUNDARY SURVEY

Property Address:
1902 WATERS EDGE
LAUDERDALE BAY THE SEA, FL 33062



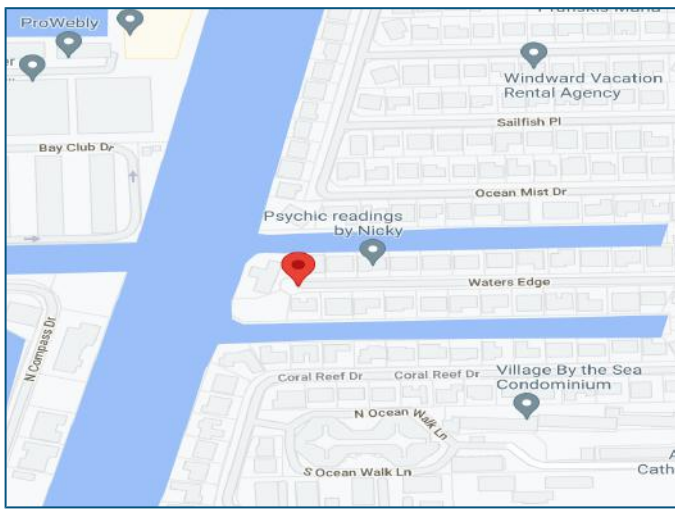
15271 NW 60 AVE, Suite 206
Miami Lakes, FL 33014
www.OnlineLandSurveyors.Com

SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPER IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.



SIGNED _____ **FOR THE FIRM**
GUILLERMO A. GUERRERO
STATE OF FLORIDA **P.S.M. No. 6453**

NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND/OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A LICENSE SURVEYOR AND MAPPER.



LOCATION MAP N.T.S.



PROPERTY FRONT VIEW

CERTIFIED TO:

DOMINICK MARZANO
 STRANG ADAMS, P.A.
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 ITS SUCCESSORS AND/OR ASSIGNS AS THEIR
 INTEREST MAY APPEAR.

FLOOD INFORMATION:

Community Number: TOWN OF LAUDERDALE BY THE SEA 125123
Panel Number: 12011C0378H
Suffix: H
Date of Firm Index: 8/18/2014
Flood Zone: X
Base Flood Elevation: N/A
Date of Survey: 6/2/2021

LEGAL DESCRIPTION: Please see the last page for long Legal Description.

Surveyor's Legend

PROPERTY LINE	TREE	L.M.E. LAKE or LANDSCAPE MAINT. ESMT.	ESMT. EASEMENT
STRUCTURE	P.P. POWER POLE	R.O.E. ROOF OVERHANG EASEMENT	D.E. DRAINAGE EASEMENT
CONC. BLOCK WALL	C.B. CATCH BASIN	P.P. POOL PUMP	L.B.E. LANDSCAPE BUFFER ESMT.
CHAIN-LINK or WIRE FENCE	C.U.E. COUNTY UTILITY ESMT.	PL PLANTER OR PROPERTY LINE	L.A.E. LIMITED ACCESS EASEMENT
WOOD FENCE	I.E./E.E. INGRESS/ EGRESS ESMT.	I.D. IDENTIFICATION	TEL. TELEPHONE FACILITIES
IRON FENCE	U.E. UTILITY EASEMENT	B.C. BLOCK CORNER	U.P. UTILITY POLE
EASEMENT	FND. OR F FOUND IRON PIPE/	B.R. BEARING REFERENCE	E.U.B. ELECTRIC UTILITY BOX
CENTER LINE	PIN AS NOTED ON PLAT	Δ CENTRAL ANGLE or DELTA	SEP. SEPTIC TANK
WOOD DECK	LB# LICENSE # - BUSINESS	R RECORD OR RADIUS	D.F. DRAIN FIELD
CONCRETE	LS# LICENSE # - SURVEYOR	RAD. RADIAL	AC AIR CONDITIONER
ASPHALT	CALC CALCULATED POINT	N.R. NON RADIAL	CSW CONC SIDEWALK
BRICK/TILE	SET SET MONUMENT	TYP. TYPICAL	DWY DRIVEWAY
WATER	▲ CONTROL POINT	I.R. IRON ROD	SCR. SCREEN
APPROXIMATE EDGE OF WATER	■ CONCRETE MONUMENT	I.P. IRON PIPE	GAR. GARAGE
COVERED AREA	ELEV ELEVATION	N&D NAIL & DISK	ENCL. ENCLOSURE
	P.T. POINT OF TANGENCY	PK NAIL PARKER-KALON NAIL	N.T.S. NOT TO SCALE
	P.C. POINT OF CURVATURE	D.H. DRILL HOLE	F.F. FINISHED FLOOR
	P.R.M. PERMANENT REFERENCE MONUMENT	⊙ WELL	T.O.B. TOP OF BANK
	P.C.C. POINT OF COMPOUND CURVATURE	⊙ FIRE HYDRANT	E.O.W. EDGE OF WATER
	P.R.C. POINT OF REVERSE CURVATURE	⊙ M.H. MAN HOLE	E/P OR E.O.P. EDGE OF PAVEMENT
	P.O.B. POINT OF BEGINNING	O.H.L. OVERHEAD LINES	C.V.G. CONCRETE VALLEY GUTTER
	P.O.C. POINT OF COMMENCEMENT	TX TRANSFORMER	B.S.L. BUILDING SETBACK LINE
	P.C.P. PERMANENT CONTROL POINT	CATV CABLE TV. RISER	S.T.L. SURVEY TIE LINE
	M FIELD MEASURED	W.M. WATER METER	℄ CENTER LINE
	P PLATTED MEASUREMENT	P/E POOL EQUIPMENT	R/W RIGHT OF WAY
	D DEED	CONC CONCRETE SLAB	R.O.E. PUBLIC UTILITY EASEMENT
	C CALCULATED		C.M.E. CANAL MAINTENANCE EASEMENT
			A.E. ANCHOR EASEMENT

GENERAL NOTES:

- LEGAL DESCRIPTION PROVIDED BY OTHERS.
- EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING PROPERTY.
- THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENT OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION, PERMITTING DESIGN, OR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF ONLINE LAND SURVEYORS INC.
- UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- ONLY VISIBLE AND ABOVE GROUND ENCROACHMENTS LOCATED.
- FENCE OWNERSHIP NOT DETERMINED.
- WALL TIES ARE TO THE FACE OF THE WALL.
- BEARINGS ARE BASE ON AN ASSUMED MERIDIAN.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE.
- NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- NOT VALID UNLESS SEALED WITH THE SIGNING SURVEYORS EMBOSSED OR ELECTRONIC SEAL.
- DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.
- ELEVATIONS IF SHOWN ARE BASED UPON N.G.V.D. 1929 UNLESS OTHERWISE NOTED.
- THIS IS A BOUNDARY SURVEY UNLESS OTHERWISE NOTED.
- THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.

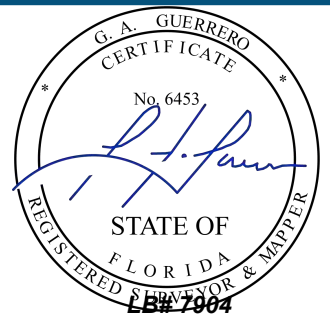
Florida Land Title Association
FLTA
 Affiliate Member

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- Deselect "Auto-Rotate and Center"
- Select "Choose paper source by PDF page size"

Page Handling
 Copies: 1 Collate
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 Choose paper source by PDF page size
 Use custom paper size when needed

FIELD WORK:	5/29/2021
DRAWN BY:	C.S.
CHECKED BY:	G.A.G.
FINAL REVISION:	
COMPLETED:	6/2/2021
SCALE:	1" = 30'
SURVEY CODE:	O-73424



15271 NW 60 AVE, Suite 206
 Miami Lakes, FL 33014
 Phone: (305) 910-0123
 Fax: (305) 675-0999
 www.OnlineLandSurveyors.Com

LEGAL DESCRIPTION:

ALL OF LOT 17 AND THAT PORTION OF LOT 16, BLOCK 1, BEL-AIR ISLE, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 40, PAGE 43, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE FULLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 16, THENCE EASTERLY ALONG THE SOUTHERLY LINE OF SAID LOT 16, A DISTANCE OF 80.78 FEET; THENCE WEST MAKING AN INCLUDED ANGLE OF 24°35'30", A DISTANCE OF 63.84 FEET TO A POINT ON THE WESTERLY LINE OF SAID LOT 16; THENCE SOUTHERLY ALONG THE SAID WESTERLY LINE, A DISTANCE OF 34.96 FEET TO THE POINT OF BEGINNING.

SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPER IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.



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Fax: (305) 675-0999
LB #: 7904

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Accepted By: _____