



SITE INFORMATION	
<b>LEGAL DESCRIPTION:</b> LOT 31, BLOCK 8, OF "POMPANO ISLES - SECTION B", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 31, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.	
<b>CONSTRUCTION &amp; OCCUPANCY TYPE:</b>	II-B (FBC) TYPE II (000) NFPA 220
TYPE OF CONSTRUCTION	GROUP R-3
OCCUPANCY:	FLORIDA BUILDING CODE 2017
BUILDING CODE:	NATIONAL ELECTRIC CODE 2008
<b>ZONING DESIGNATION:</b>	ANSI ASCE 7-10 FOR WIND LOADS, (170 MPH WIND SPEED EXPOSURE "C")
RS-2 SINGLE FAMILY RESIDENCE 2 (RS-2)	3 SEC. GUST
<b>FLOOD ZONE:</b>	
FLOOD ZONE & ELEVATIONS:	
FLOOD ZONE: AE/X(0.2%)	
BASE FLOOD ELEVATION: 5' CONTROL PANEL NO.: 120055-0378-H DATE OF FIRM INDEX: 08/18/14	
REFERENCE BENCHMARK: BROWARD COUNTY B.M.# 651 ELEVATION=3.560' (NGVD 1929) ELEVATION = 1.985' (NA VD 1988)	
DESIGN FLOOR ELEV. = +7.0 NAVD	<b>2,990.7720 Sq ft</b>
<b>SITE DATA</b>	<b>REQUIRED      PROPOSED</b>
Lot area, minimum (sq ft)	7,000      9,206
Lot width, minimum (ft)	70      75
Density, maximum (du/ac) See Comprehensive Plan	2      1
Floor area per dwelling unit, minimum (sq ft)	1,250      3,700
Lot coverage, maximum (% of lot area)	40% (3,700 s.f.)
Pervious area, minimum (% of lot area)	30% (2,794 s.f.)
Height, maximum (ft)	25
Front yard setback, minimum (ft)	25
Setback from a waterway or canal, minimum (ft)	25
Interior side yard setback, minimum (ft)	7.5 (Side)
Interior side yard setback, minimum (ft)	7.5 (Side)
Required Front Yard, Pervious Area, minimum (% of Required Front Yard)	50%      50%
TOTAL FRONT YARD = 1,932 Sq ft OF WHICH 1,000 Sq ft IS PERVIOUS FOR A TOTAL OF 52% PERVIOUS	PERVIOUS PROVIDED: 1,000 S.F. (52%)
<b>REQUIRED:</b>	<b>PROVIDED</b>
<b>PARKING MINIMUM</b>	<b>PARKING</b>
2 SPACES	2 SPACES
<b>UTILITY SERVICE</b>	
CITY SEWER	
<b>CROWN OF ROAD</b>	
4.28' NAVD	

- SITE PLAN NOTES**
- CONTRACTORS AND SUBCONTRACTORS SHALL PERFORM ANY CONSTRUCTION IN ACCORDANCE WITH ALL CODES REGULATIONS, HAVING JURISDICTION AND RESTRICTIONS AND SHALL BE RESPONSIBLE FOR THE SAME.
  - ALL DIMENSIONS SHALL BE VERIFIED PREVIOUS TO AND CONSTRUCTION BY THE CONTRACTOR AND/OR SUB-CONTRACTOR. CONTRACTOR AND/OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY TO THE CONSTRUCTION DOCUMENTS.
  - SURVEYORS SHALL VERIFY ALL SITE DIMENSIONS PRIOR TO THE CONSTRUCTION AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY TO THE CONSTRUCTION DOCUMENTS.
  - CONTRACTOR TO VERIFY ALL SETBACKS, EASEMENTS, R.O.W. SIZE AND LOCATIONS AND BE RESPONSIBLE FOR THE SAME.
  - THE DRAINAGE SWALE WILL BE A MINIMUM OF 2 INCHES LOWER THAN THE EDGE OF THE STREET IN THE DRIVEWAY AND A MINIMUM OF 6 INCHES LOWER IN THE GRASS.
  - OWNER SHALL SUBMIT A FINAL SURVEY TO THE CITY ENGINEER OFFICE PRIOR TO THE FINAL INSPECTION. SURVEY MUST INCLUDE SUFFICIENT TOPOGRAPHY TO VERIFY CONFORMANCE TO THE DESIGN, APPROXIMATE LOCATIONS OF THE SEPTIC TANK, DRAINFIELD, WELDS, AND SERVICE LINES TO THE BUILDING.
  - PLEASE SEE CIVIL ENGINEERING PLANS FOR GRADES AND DIMENSIONS.
  - FINISH FLOOR ELEVATIONS SHALL NOT BE LESS THAN 18" ABOVE THE CROWN OF THE ROAD.
  - MAXIMUM SLOPE SHALL NOT EXCEED 4(H): 1 (V).

**SITE PLAN NOTES**

HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE OWNER'S SURVEYOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.

IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.

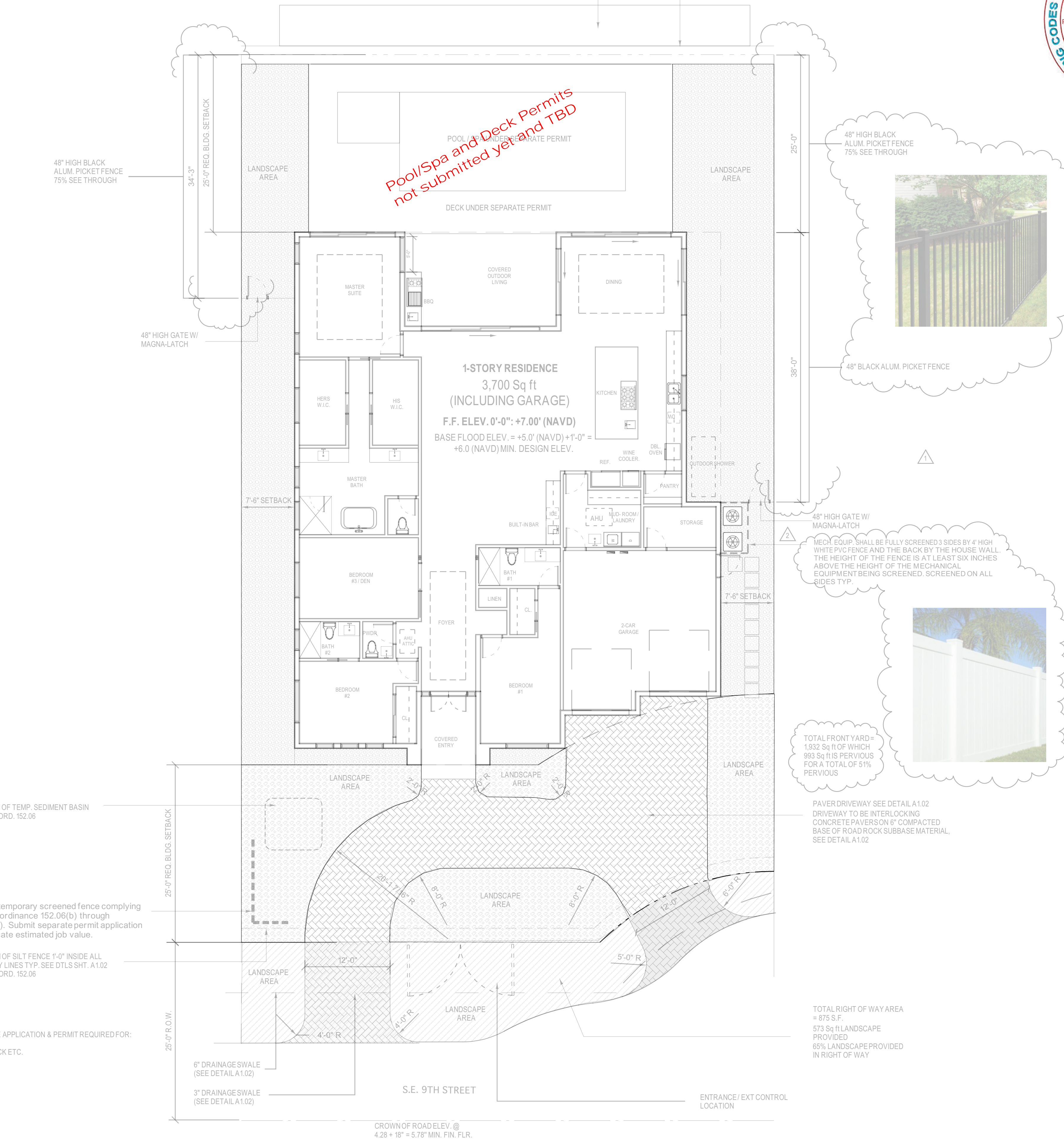
IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL BE PROCEEDED WITH EXTREME CAUTION. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE SUCH DAMAGES.

CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTling ANY DISTURBED EXISTING MANHOLES, METERS, VALVE BOXES, BLOW OFF RISERS, ETC. TO THE NEW ELEVATIONS, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON THE DRAWINGS OR NOT.

**AREA INFORMATION**

GROUND FLOOR UNDER AIR GARAGE	3,217 S.F. 483 S.F.
TOTAL W/ GARAGES	3,700 S.F.

The construction sites abutting a waterway must include the installation and maintenance of a silt fence approved by a development services permit to prevent any soil or construction debris from the construction site from entering the waterway. (Silt fence must be installed in accordance with the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual.)



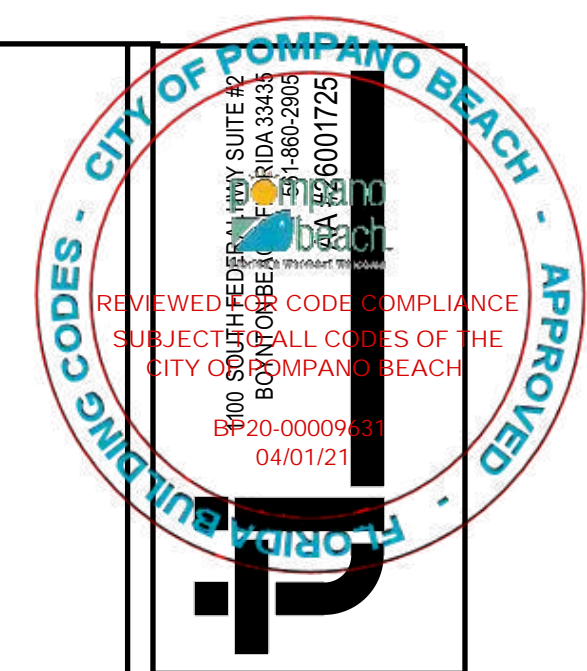
- LOCATION OF TEMP. SEDIMENT BASIN PER CITY ORD. 152.06
- Provide temporary screened fence complying with city ordinance 152.06(b) through 152.06(g). Submit separate permit application and indicate estimated job value.
- LOCATION OF SILT FENCE 1'-0" INSIDE ALL PROPERTY LINES TYP. SEE DTLS SHT. A1.02 PER CITY ORD. 152.06
- SEPARATE APPLICATION & PERMIT REQUIRED FOR:
- POOL DECK ETC.
  - FENCES
  - POOL

EROSION CONTROL POMPANO BEACH CITY ORDINANCE 152.06:

NEED BUILDING APPLICATION & PLANS FOR EROSION CONTROL REQUIREMENTS. SHOW LOCATIONS & DETAIL REQUIREMENTS OF TEMPORARY SEDIMENT BASIN, ENTRANCE/EXIT CONTROL, SILT FENCE, ETC.

**SITE / DRIVEWAY PLAN**

1/8" = 1'-0"



HAROLD TUTTLE  
AR #015395

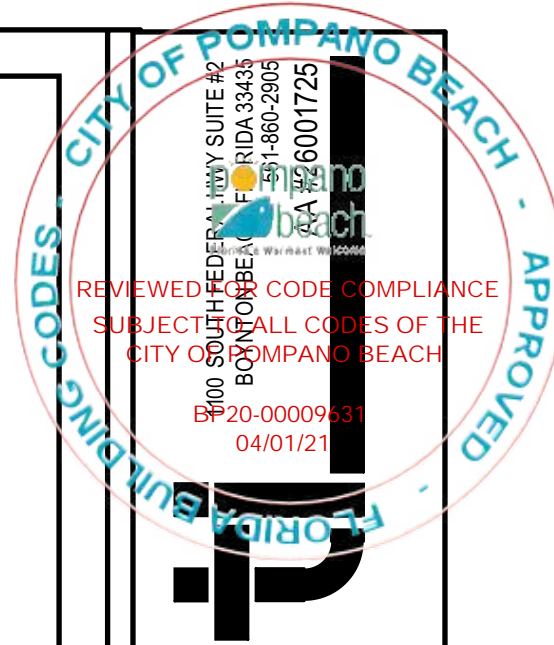


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**NEW SINGLE FAMILY CONSTRUCTION for:**  
**BOAZ RESIDENCE**  
**2750 SE 9TH STREET, POMPANO BEACH, FL. 33062**

REVISIONS	DATE
△ REV PER REVIEW	1/27/2021
△ CLARIFY SCREEN	3/9/2021

Contract	
Permit	
Bid	
Date	01/19/20
Scale	AS NOTED
Drawn	HT
Job	2020-01
Sheet	A1.01
Of	X/X Sheets



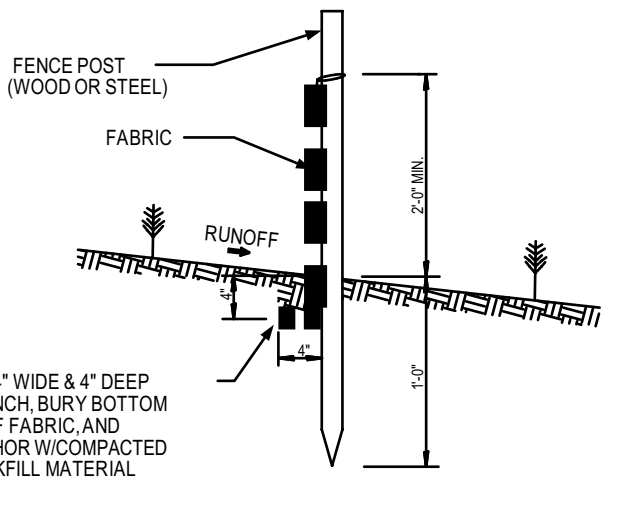
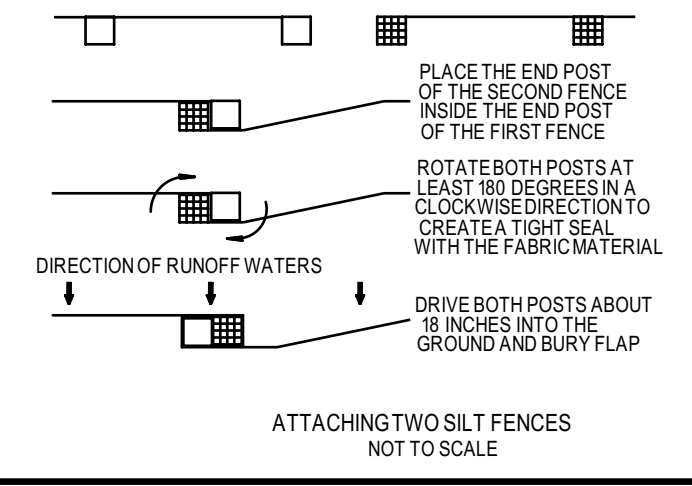
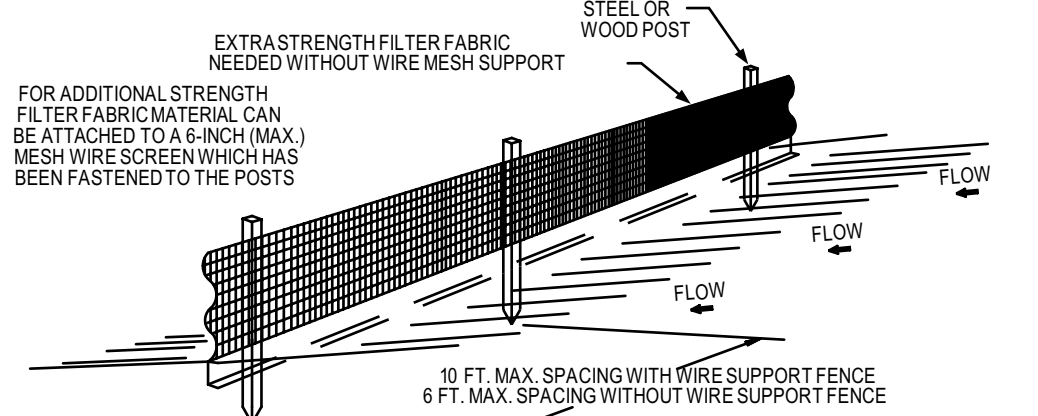
**REVIEWED FOR COMPLIANCE**  
 SUBJECT TO ALL CODES OF THE  
 CITY OF POMPANO BEACH  
 BY: 100-0000947  
 04/07/21

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 cn=Harold Tuttle  
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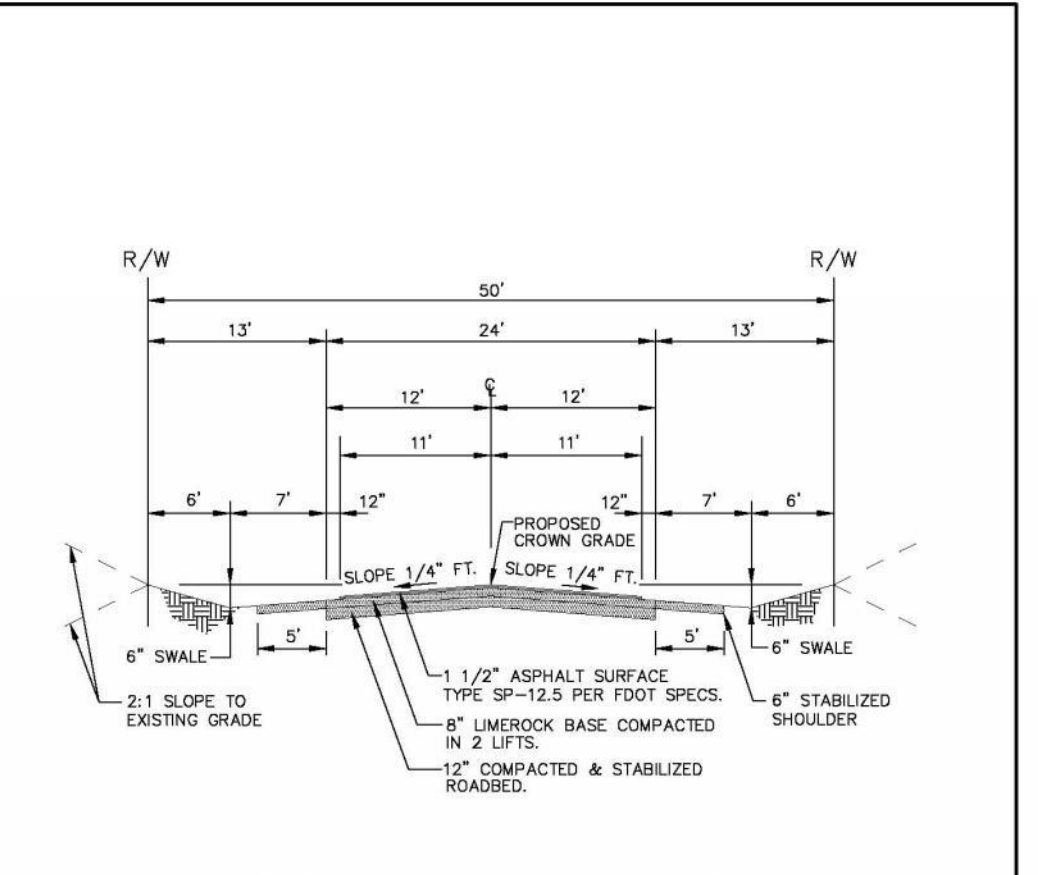
**NEW SINGLE FAMILY CONSTRUCTION for:  
 BOAZ RESIDENCE  
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- NOTES:**
1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
  2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
  3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
  4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
  5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
  6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
  7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
  8. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
  9. ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

Separate permit is required for silt fence. Please provide a permit application with the job cost filled out on back. Provide site plan illustrating location.



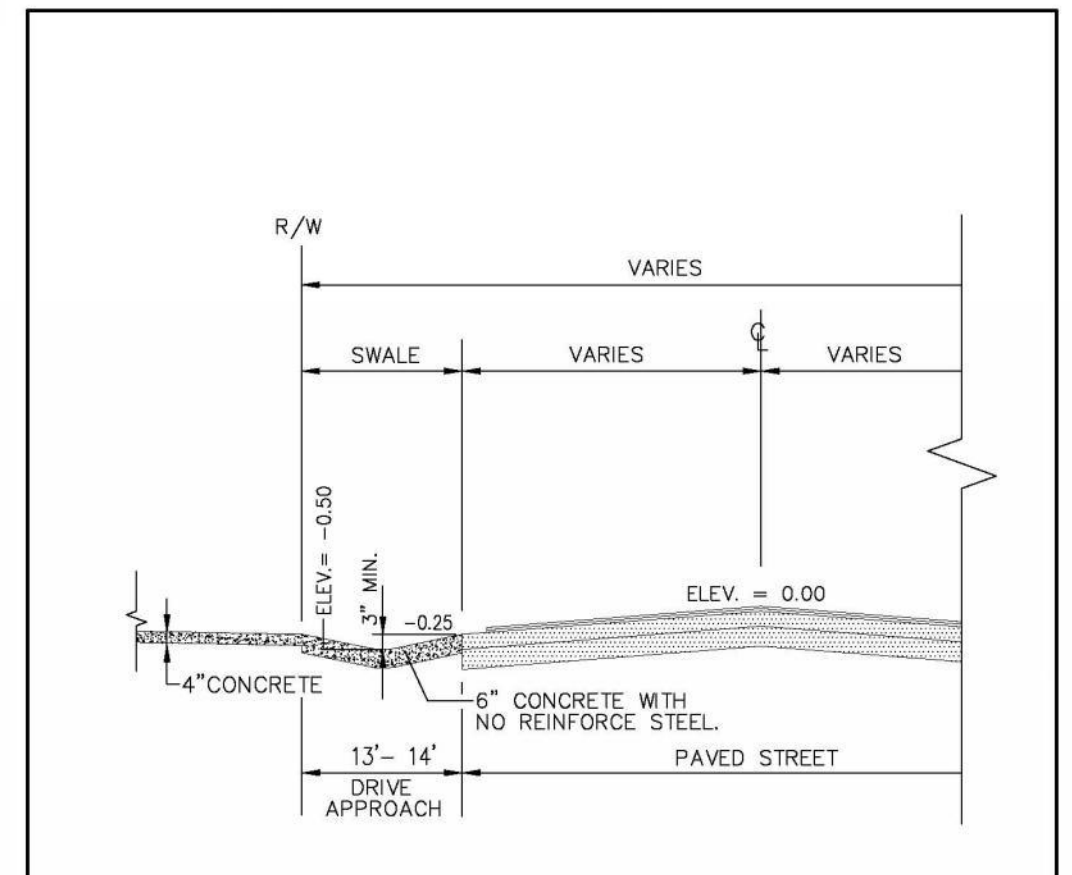
**SILT FENCE INSTALLATION DETAILS**



**TYPICAL ROADWAY SECTION**

REVISIONS		ENGINEERING DIVISION	TYPICAL ROADWAY SECTION
BY	DATE	CITY OF POMPANO BEACH	
S.S.	JUNE 2005		
S.S.	JAN. 2016		

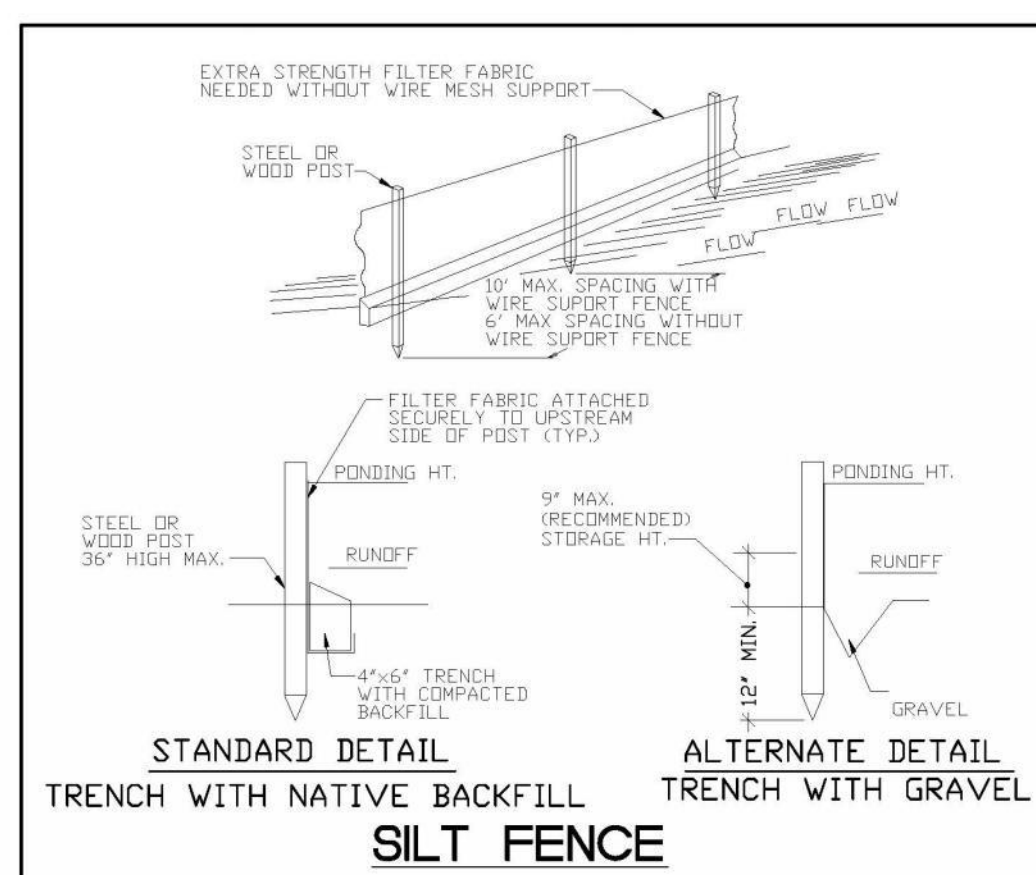
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**TYP. DRIVEWAY SWALE SECTION**

REVISIONS		ENGINEERING DIVISION	TYPICAL DRIVEWAY SWALE
BY	DATE	CITY OF POMPANO BEACH	
S.S.	6/21/07		

SCALE: N.T.S. DATE: FEB. 1999 DWG. NO. 305-2

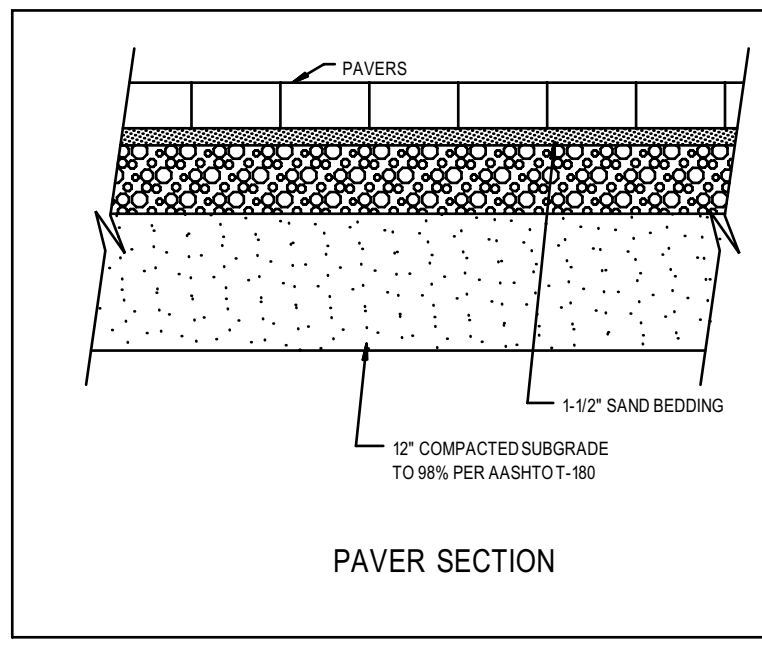


**STANDARD DETAIL TRENCH WITH NATIVE BACKFILL**  
**ALTERNATE DETAIL TRENCH WITH GRAVEL**  
**SILT FENCE**  
**EROSION CONTROL GENERAL NOTES**

REVISIONS		ENGINEERING DIVISION	SILT FENCE
BY	DATE	CITY OF POMPANO BEACH	
S.S.	MAY 2007		

SCALE: N.T.S. DATE: MAY 2007 DWG. NO. 509-1

1. SILT FENCE AND TURBIDITY BARRIERS MUST REMAIN IN PLACE AND BE MAINTAINED AT ALL LOCATIONS SHOWN IN THE DRAWINGS UNTIL CONSTRUCTION IS COMPLETED AND SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
2. CONTRACTOR SHALL SUBMIT SCHEDULE FOR THE INSTALLATION, INSPECTION AND MAINTENANCE THE EROSION CONTROLS FEATURES AS SHOWN IN THE DRAWINGS OR AS DIRECTED BY THE DESIGN ENGINEER. THE SCHEDULE SHALL SPECIFICALLY INDICATE THE SEQUENCE OF CLEARING, EARTH WORK OPERATIONS, AND WHEN THE EROSION CONTROL FEATURE WILL BE INSTALLED, INSPECTED, AND MAINTAINED. IT SHALL ALSO INCLUDE METHODS TO PREVENT POLLUTION OF STREAM, LAKES, TIDAL WATERS, CANALS, AND IMPOUNDMENTS ESTABLISHED.



**PAVER SECTION**

OUTSIDE RIGHT OF WAY  
 4" LIMEROCK BASE COMPACTED TO 98% PER AASHTO T-99

INSIDE RIGHT OF WAY  
 6" LIMEROCK BASE COMPACTED TO 98% PER AASHTO T-99 OR 4" FLOWABLE FILL (100 P.S.I. MIN.)

ROADWAY BASE  
 INSIDE RIGHT OF WAY  
 6" LIMEROCK BASE COMPACTED TO 98% PER AASHTO T-99 OR 4" FLOWABLE FILL (100 P.S.I. MIN.)

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REVISIONS	DATE

Contract	
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Drawn	HT
Job	2020-01
Sheet	A1.02
Of	X/X Sheets

1ST FLOOR DOOR SCHEDULE				
MARK	WIDTH	HEIGHT	COMMENTS	DESIGN PRESSURES
D101	5'-0"	10'-0"	EXTERIOR FRENCH DOORS W/ SIDELITES	SEE ELEVATIONS
D102	3'-0"	10'-0"	EXTERIOR SWING DOOR HM	
D103	12'-0"	10'-0"	EXTERIOR SLIDING DOOR	
D104	16'-8"	10'-0"	EXTERIOR SLIDING DOOR	
D105	9'-4"	10'-0"	EXTERIOR SLIDING DOOR	
D106	14'-0"	10'-0"	EXTERIOR SLIDING DOOR	
D107	9'-4"	10'-0"	EXTERIOR SLIDING DOOR	
D108	3'-0"	10'-0"	INTERIOR 20-MIN FIRE-RATED DR EQUIPPED W/ A SELF-CLOSING DEVICE	
D109	2'-8"	10'-0"	INTERIOR SINGLE DOOR	
D110	3'-0"	10'-0"	INTERIOR 20-MIN FIRE-RATED DR EQUIPPED W/ A SELF-CLOSING DEVICE	
D111	2'-8"	10'-0"	INTERIOR SINGLE DOOR	
D112	2'-8"	10'-0"	INTERIOR SINGLE DOOR	
D113	2'-8"	10'-0"	INTERIOR SINGLE DOOR	
D114	4'-0"	10'-0"	INTERIOR POCKET DOOR	
D115	2'-8"	10'-0"	INTERIOR POCKET DOOR	
D116	2'-8"	10'-0"	INTERIOR POCKET DOOR	
D117	2'-8"	10'-0"	INTERIOR POCKET DOOR	
D118	2'-10"	10'-0"	INTERIOR SINGLE DOOR	
D119	2'-8"	10'-0"	INTERIOR POCKET DOOR	
D120	2'-8"	10'-0"	INTERIOR POCKET DOOR	
D121	6'-0"	10'-0"	INTERIOR BY-PASS DOOR	
D122	2'-8"	10'-0"	INTERIOR POCKET DOOR	
D123	2'-8"	10'-0"	INTERIOR SINGLE DOOR	
D124	2'-8"	10'-0"	INTERIOR SINGLE DOOR	
D125	8'-0"	8'-0"	EXTERIOR GARAGE DOOR	
D126	8'-0"	8'-0"	EXTERIOR GARAGE DOOR	

WINDOWS SCHEDULE						
MARK	WIDTH	HEIGHT	HEAD HEIGHT	DESCRIPTION	SILL HEIGHT	NOTES
W101	6'-0"	7'-0"	10'-0"	OPERABLE/EGRESS	3'-0"	
W102	2'-6"	7'-0"	10'-0"	OPERABLE/EGRESS	3'-0"	
W103	2'-6"	7'-0"	10'-0"	OPERABLE/EGRESS	3'-0"	
W104	2'-6"	7'-0"	10'-0"	OPERABLE/EGRESS	3'-0"	
W105	6'-0"	2'-6"	10'-0"	FIXED	7'-6"	
W106	3'-0"	2'-6"	10'-0"	OPERABLE	7'-6"	
W107	6'-0"	8'-0"	10'-0"	OPERABLE/EGRESS	2'-0"	
W108	4'-0"	2'-6"	10'-0"	OPERABLE	7'-6"	
W109	3'-0"	7'-0"	10'-0"	OPERABLE	3'-0"	
W110	3'-0"	7'-0"	10'-0"	OPERABLE	3'-0"	
W111	3'-0"	7'-0"	10'-0"	OPERABLE	3'-0"	
W112	5'-0"	7'-0"	10'-0"	OPERABLE	3'-0"	
W113	5'-0"	7'-0"	10'-0"	FIXED	3'-0"	COORD. W/ CABINET
W114	6'-0"	2'-6"	10'-0"	FIXED	7'-6"	

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
A01	LAUNRY COUNTERTOP/ CABINETS (OWNER SELECTED)
A02	KITCHEN COUNTERTOP/ CABINETS (OWNER SELECTED)
A03	KITCHEN ISLAND/ CABINETS (OWNER SELECTED)
A04	BUILT-IN PANTRY SHELVING
A06	ELECTRICAL PANELS (see elect. drawings)
A07	SUMMER KITCHEN COUNTERTOP/ CABS (OWNER SELECTED)
A08	APPLIANCES (OWNER SELECTED)
A19	TEMPERED GLASS / DOOR
A29	WET BAR COUNTERTOP/ CABS (OWNER SELECTED)
A30	STEEL COL.
A32	COVE CEILING

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
M01	AIR HANDLING UNIT
M02	AIR CONDITIONER CONDENSER
P01	LAVATORY
P06	WATER CLOSET
P07	POOL EQUIPMENT
P10	SINK

INSULATION INFORMATION:  
EXTERIOR WALLS = R-4.1 FOIL INSULATION  
ROOFS = R-20 ICYNENE INSULATION

FINISH NOTES:  
G.C. TO COORDINATE WITH OWNER FOR ALL FINISHES BEFORE ORDERING, PAINT COLORS, BASES, FLOOR AND WALL TILE, ETC

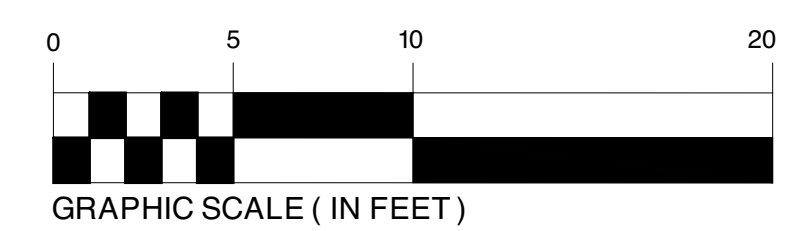
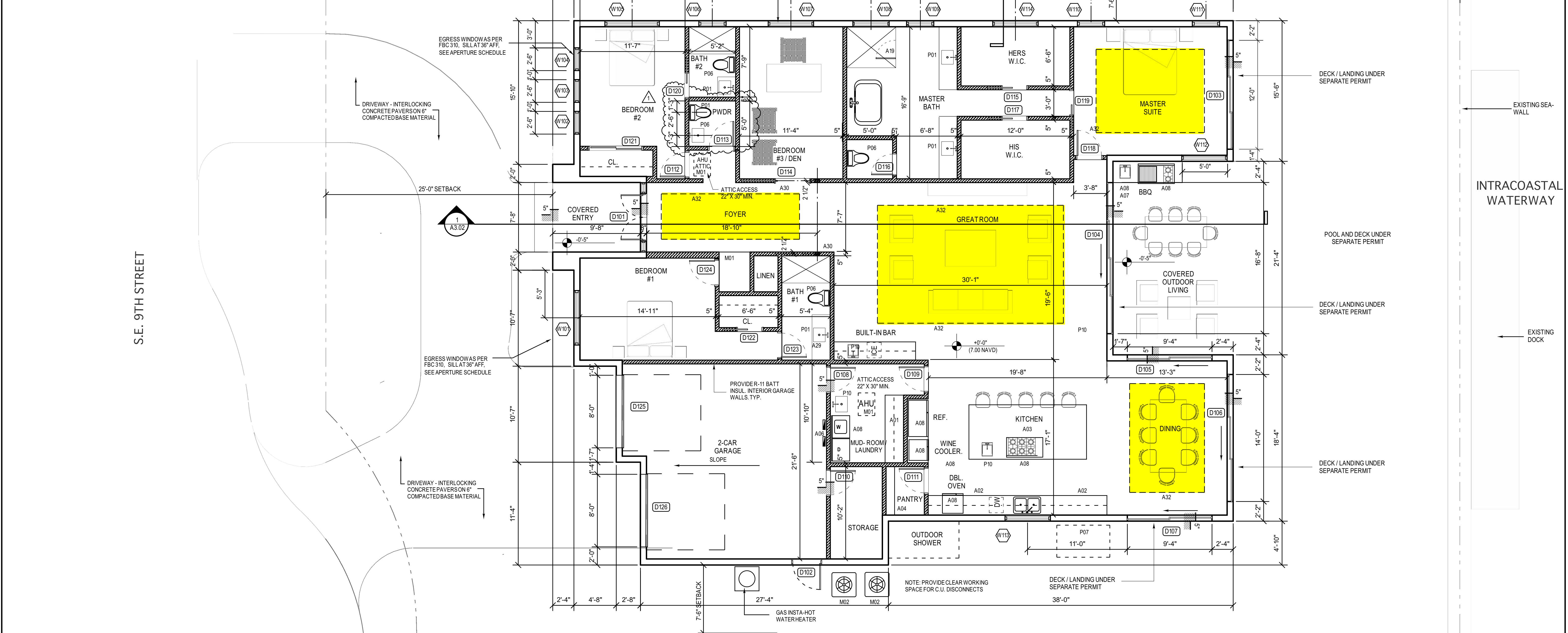
NOTES:  
1-REFER TO LANDSCAPE PLAN, L-SERIES SHEETS FOR HARDSCAPE AND PLANTING INFORMATION.  
2-ALL CONSTRUCTION AND FINISH MATERIAL BELOW DESIGN FLOOD ELEVATION (BFE +1FT. X) SHALL BE FLOOD DAMAGE RESISTANT MATERIAL (ASCE 24-05 CH. 5.0)  
3-ALL UTILITIES AND EQUIPMENT AND ACCESSORIES (ELECTRICAL, MECHANICAL, AND PLUMBING) SERVING THE BUILDING SHALL BE INSTALLED ABOVE THE DESIGN FLOOD ELEVATION (BFE +1FT. 9") (ASCE 24-05 CH. 7.0)  
4-ALL CONSTRUCTION BELOW DESIGN FLOOD ELEVATION (BFE +1FT. 9") TO FOLLOW FLOOD RESISTANT DESIGN AND CONSTRUCTION CRITERIA AS PER ASCE TABLE 1-1, AS CATEGORY II REGULATIONS.  
5-ENCLOSED AREAS BELOW DFE SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS, OR STORAGE AS PER ASCE 4.6.2.  
6-UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION, AN ELEVATION CERTIFICATE SHALL BE SUBMITTED.  
7-ALL FINAL ELEVATION CERTIFICATE FOR FINISHED CONSTRUCTION MUST BE SUBMITTED BEFORE CO, TCO OR PCO IS ISSUED.  
8-TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTIVE TREATMENT TO NEW CONSTRUCTION AS PER FBC 318  
9-ANY LOUVER, SCREENS, OR OTHER OPENING COVER THAT SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA.

PARTITION LEGEND	
P-1	INDICATES INTERIOR PARTITION-SEE DTL. 14 SHT. A8.01
W-1	INDICATES CMU WALL - SEE STRUCT.

NOTE: ALL INTERIOR PARTITIONS SHALL HAVE BOTTOM TRACK FASTENERS (3/4" PINS) SPACED MAX. 24" O.C.

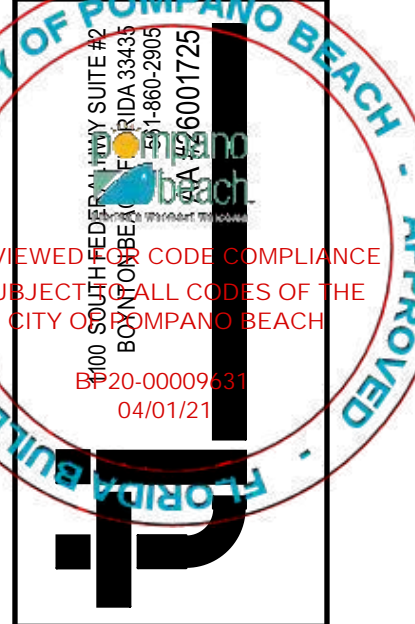
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NOTES:  
G.C. TO PROVIDE NOA'S FOR REVIEW AND APPROVAL  
G.C. TO VERIFY ALL DOOR SIZES, STYLES AND TYPES W/ OWNER PRIOR TO FABRICATION



FLOOR PLAN

GROUND FLOOR - 3,217 S.F. UNDER AIR  
GARAGE - 483 S.F.

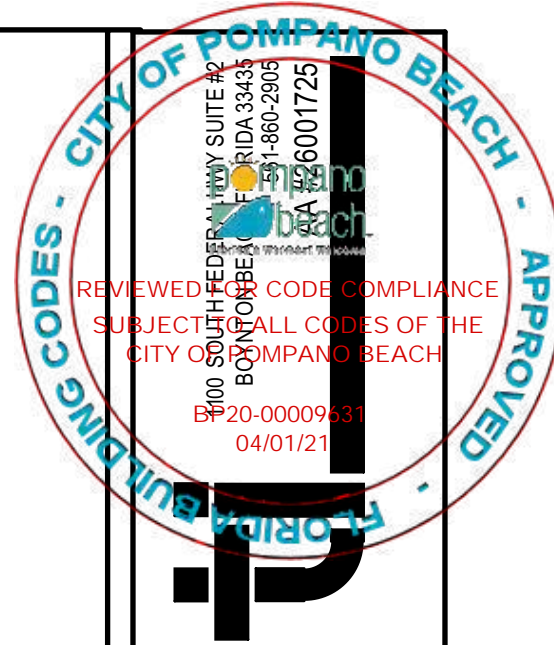


HAROLD TUTTLE  
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BOAZ RESIDENCE  
2750 SE 9TH STREET, POMPANO BEACH, FL. 33062

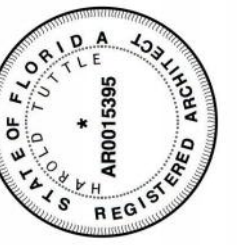
REVISIONS	DATE
△ REV PER REVIEW	1/27 2021

Contract	
Permit	
Bid	
Date	01/10/20
Scale	AS NOTED
Drawn	HT
Job	2020-01
Sheet	A2.01
Of	X/X Sheets



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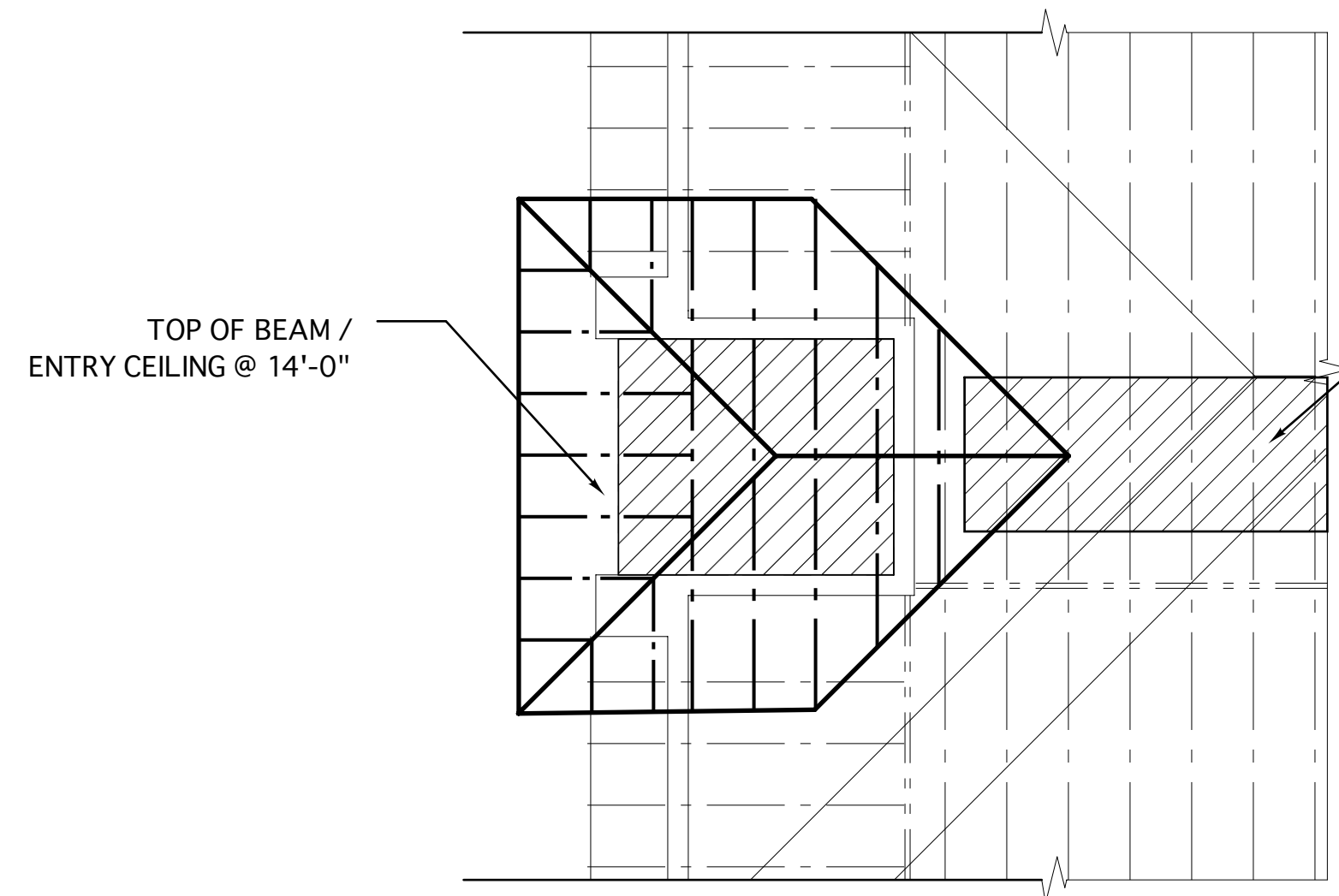
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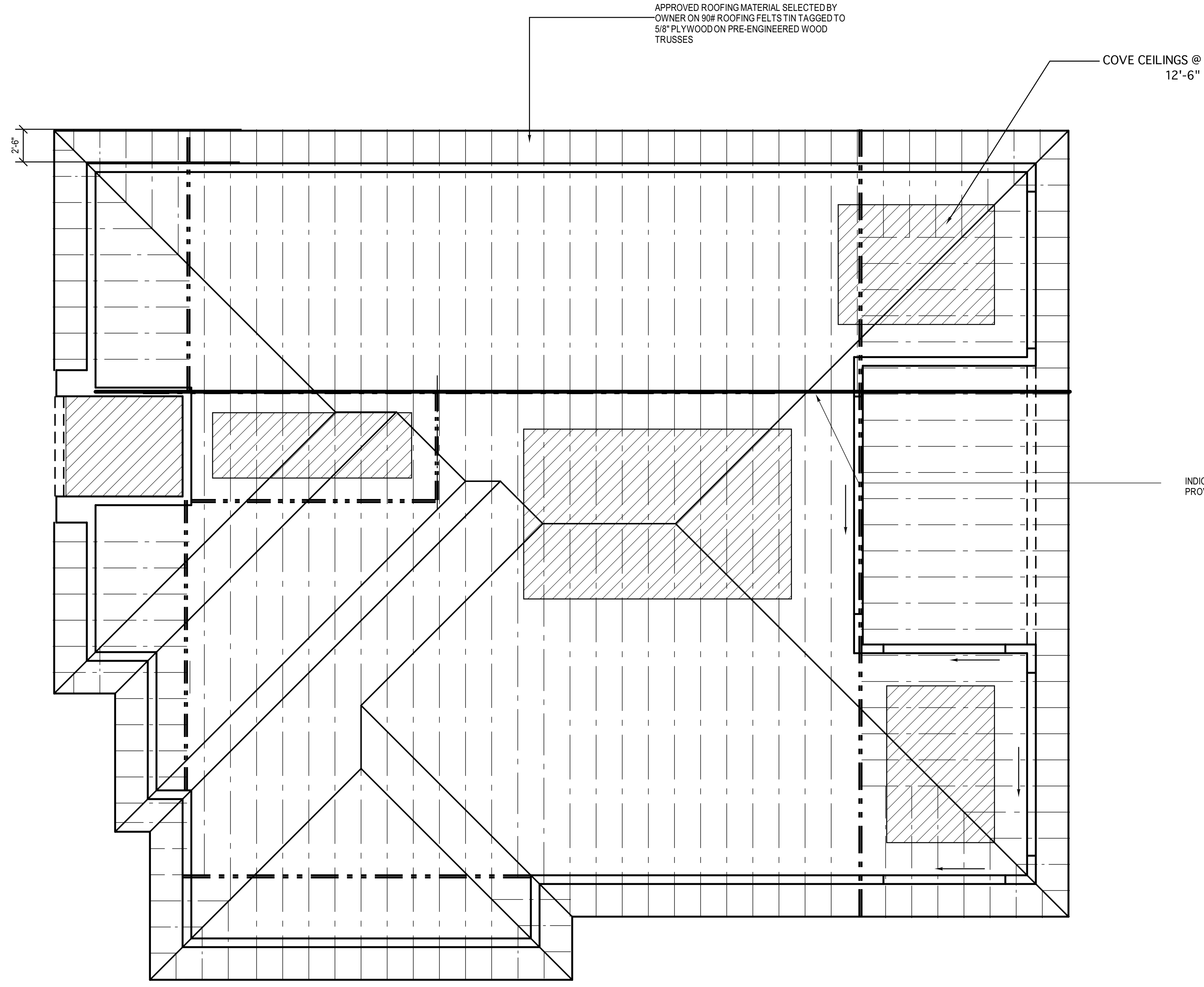
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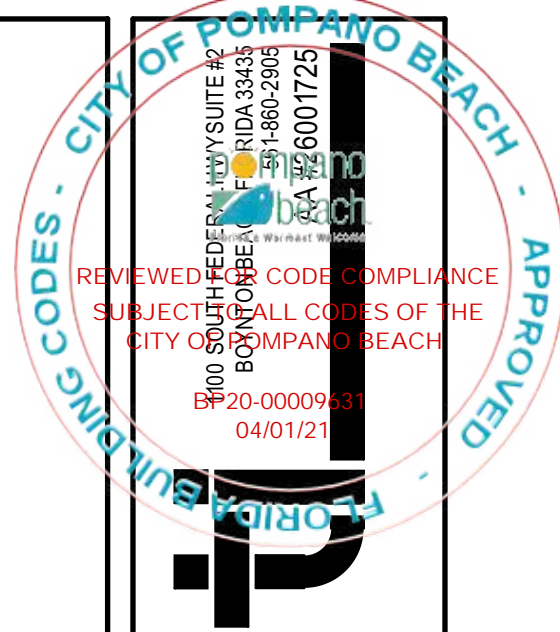
Contract	
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Date	01/10/20
Scale	AS NOTED
Drawn	HT
Job	2020-01
Sheet	A2.02
Of	X/X
Sheets	



ENTRY FEATURE ROOF PLAN  
3/16"=1'-0"



ROOF PLAN  
3/16"=1'-0"



HAROLD TUTTLE  
AR #0015395



**NEW SINGLE FAMILY CONSTRUCTION for:  
BOAZ RESIDENCE  
2750 SE 9TH STREET, POMPANO BEACH, FL.**

REVISIONS	DATE

Contract	
Permit	
Bid	
Date	01/10/20
Scale	AS NOTED
Drawn	HT
Job	2020-01
Sheet	A3.01
Of	X/X Sheets

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APPROVED ROOFING MATERIAL ON 90# ROOFING FELT'S TIN TAGGED TO 5/8" PLYWOOD ON PRE-ENGINEERED WOOD TRUSSES

EL. +14'-0" ENTRY FEATURE CEILING  
EL. +12'-6" RAISED CEILING  
EL. +11'-0" CEILING

EL. +12'-6" RAISED CEILING  
EL. +11'-0" CEILING

EL. +0'-0" FIN. FLR.

SIDE ELEVATION

3/16" = 1'-0"

NOTE:  
SEE STRUCTURAL DRAWINGS FOR WIND PRESSURE OPENING REQUIREMENTS

NOTE:  
SEE PRODUCT APPROVALS FOR WINDOW BUCK ATTACHMENTS. VERIFY ALL MASONRY OPENINGS WITH PURCHASED WINDOWS TYPICAL

NOTE:  
SEE SHEET A8.01 FOR WINDOW DETAILS

Digitally signed by Harold Tuttle  
DN: c=US, o=Unaffiliated, ou=A01410D00000174FE3, email=EC00001336, cn=Harold Tuttle  
Date: 2020.12.08 11:56:10 -0500

WIND PRESSURE CHART

1	+38.9 / -42.0 PSF
2	+38.9 / -51.0 PSF
3	+37.6 / -41.0 PSF
4	+37.6 / -49.2 PSF
5	+35.2 / -38.6 PSF
6	+35.2 / -44.5 PSF
7	+39.4 / -42.7 PSF

APPROVED ROOFING MATERIAL ON 90# ROOFING FELT'S TIN TAGGED TO 5/8" PLYWOOD ON PRE-ENGINEERED WOOD TRUSSES

GALV. METAL DRIP EDGE OVER 2" X CEDAR FASCIA

INDICATES WIND PRESSURES. TYP.

RAISED CEMENT PLASTER BAND

ALL GLAZING TO BE IMPACT W/ SCREENS IN CHARCOAL

PAINTED CEMENT PLASTER

EL. +14'-0" ENTRY FEATURE CEILING

EL. +12'-6" RAISED CEILING

EL. +11'-0" CEILING

EL. +0'-0" FIN. FLR.

SIDE ELEVATION

3/16" = 1'-0"

INDICATES WIND PRESSURES. TYP.

ARCHITECTURAL LIGHT FIXTURE

APPROVED ROOFING MATERIAL ON 90# ROOFING FELT'S TIN TAGGED TO 5/8" PLYWOOD ON PRE-ENGINEERED WOOD TRUSSES

GALV. METAL DRIP EDGE OVER 2" X CEDAR FASCIA

EL. +12'-6" RAISED CEILING

EL. +11'-0" CEILING

RAISED CEMENT PLASTER BAND

ALL GLAZING TO BE IMPACT W/ SCREENS IN CHARCOAL

PAINTED CEMENT PLASTER

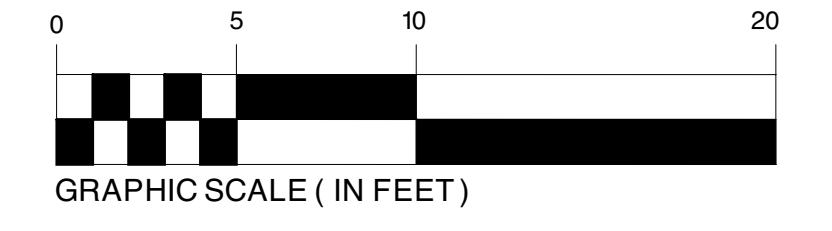
EL. +0'-0" FIN. FLR.

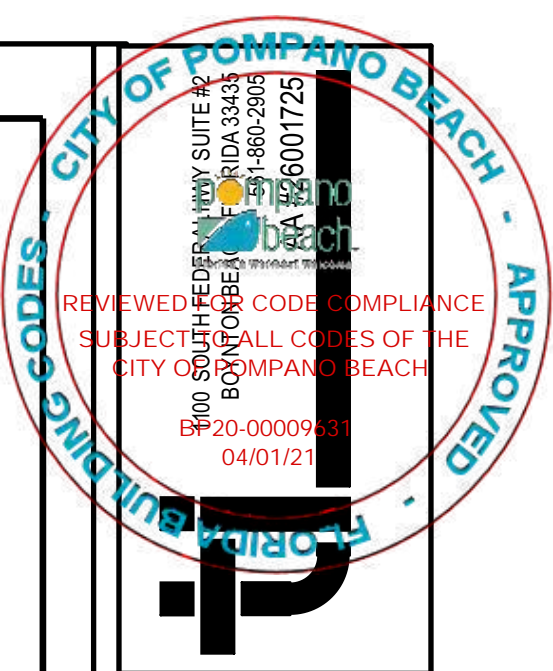
REAR ELEVATION

3/16" = 1'-0"

FRONT ELEVATION

3/16" = 1'-0"





HAROLD TUTTLE  
AR #0015395

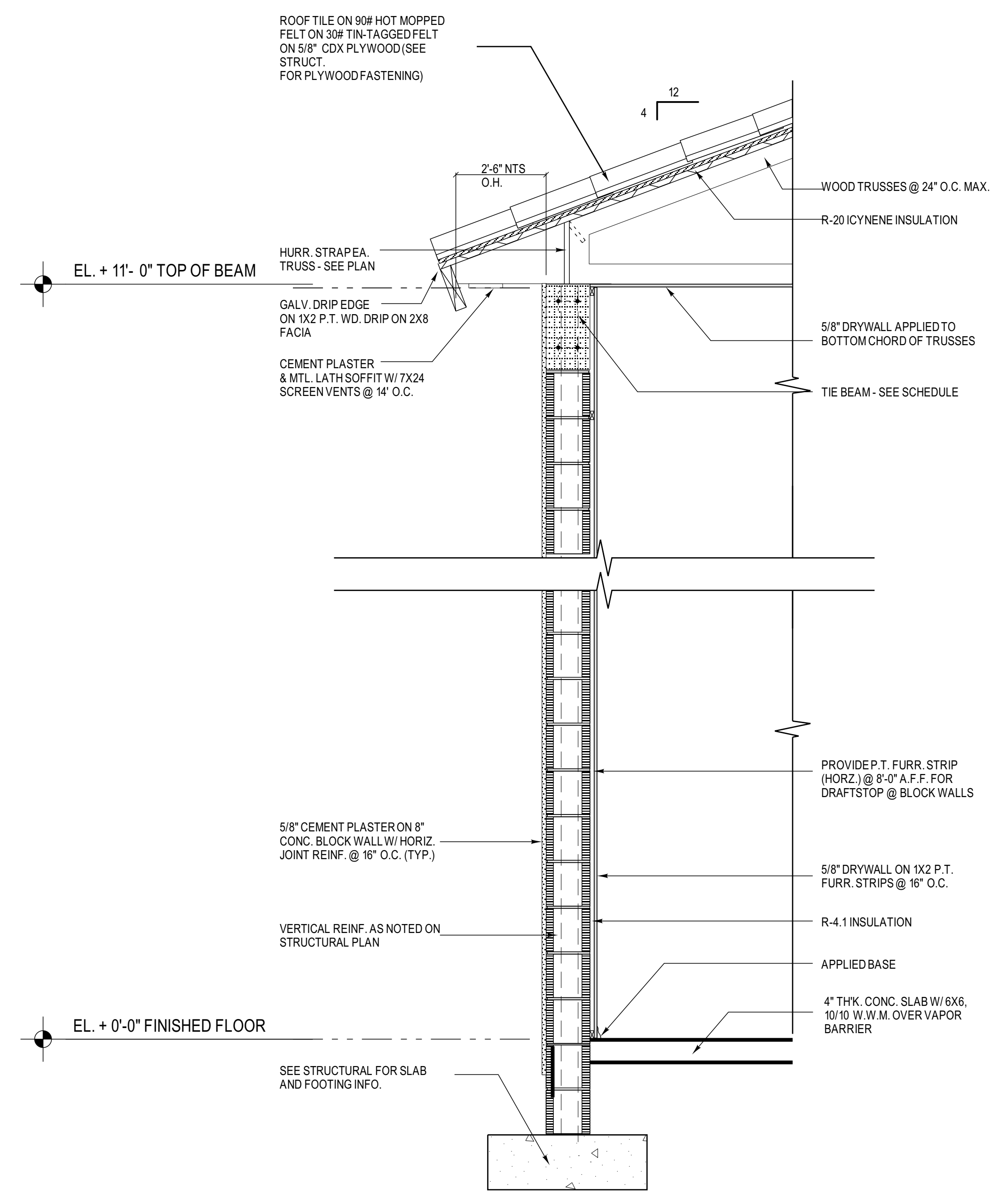


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+0500

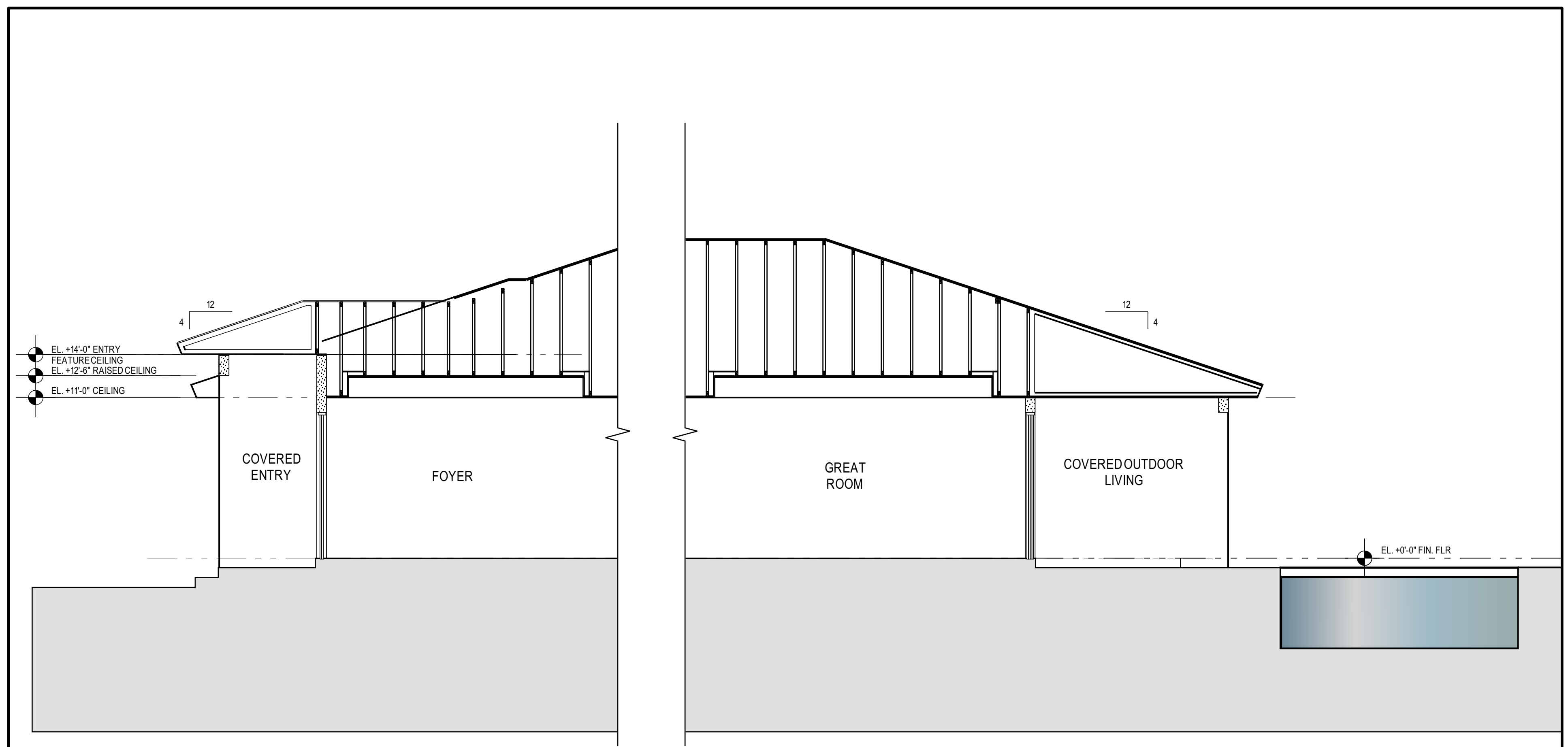
NEW SINGLE FAMILY CONSTRUCTION for:  
BOAZ RESIDENCE  
2750 SE 9TH STREET, POMPANO BEACH, FL. 33062

REVISIONS	DATE

Contract	
Permit	
Bid	
Date	01/10/20
Scale	AS NOTED
Drawn	HT
Job	2020-01
Sheet	A3.02
Of	X/X
Sheets	



2 WALL SECTION  $3/4" = 1'-0"$

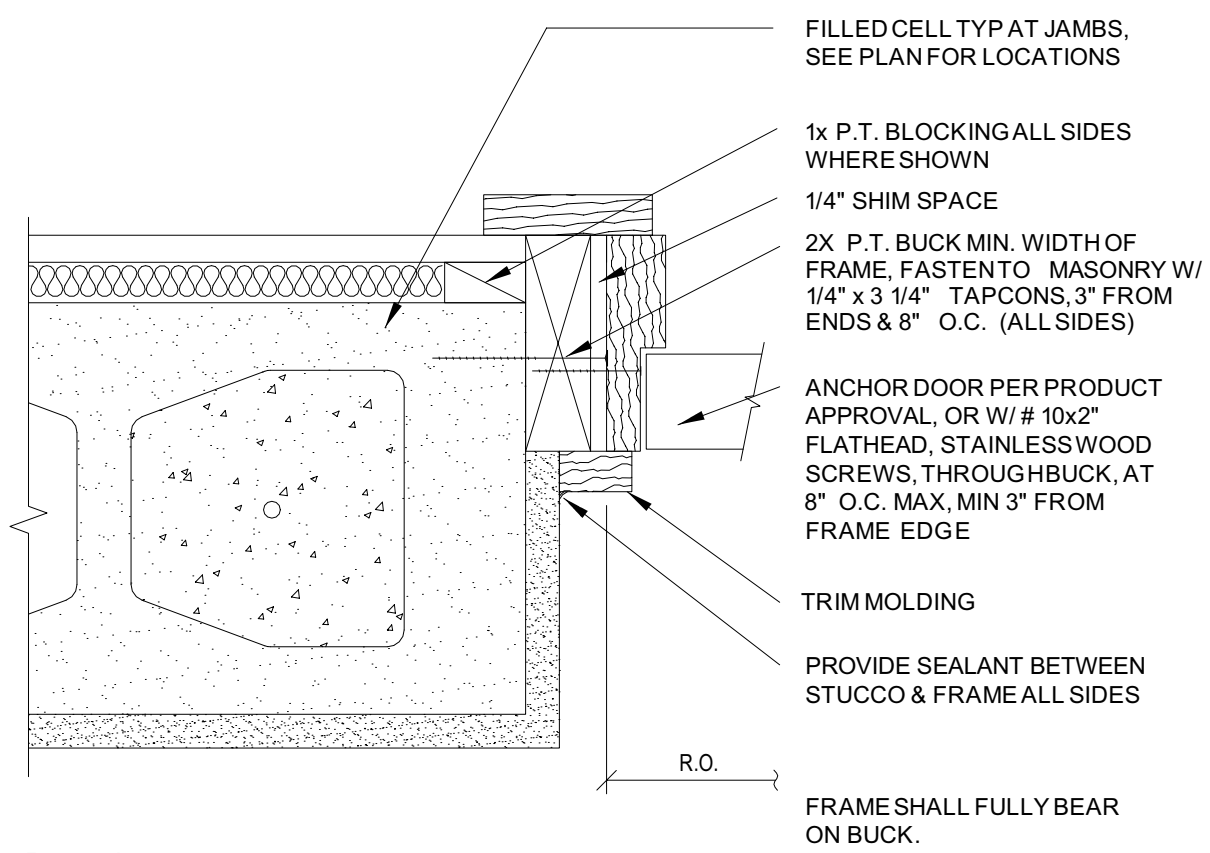


1 BUILDING SECTION  $3/16" = 1'-0"$

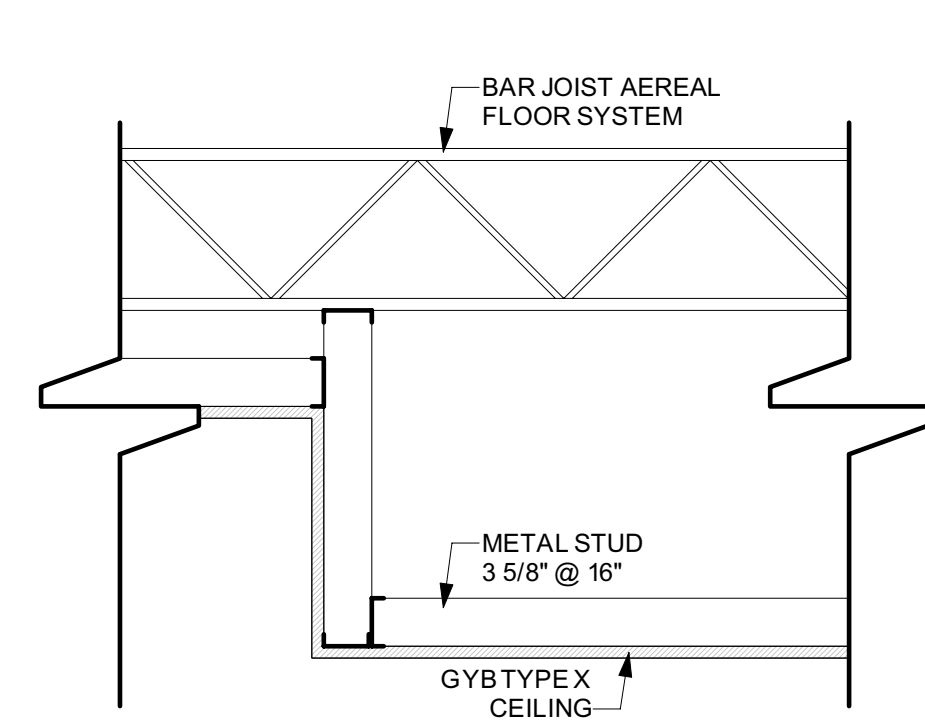




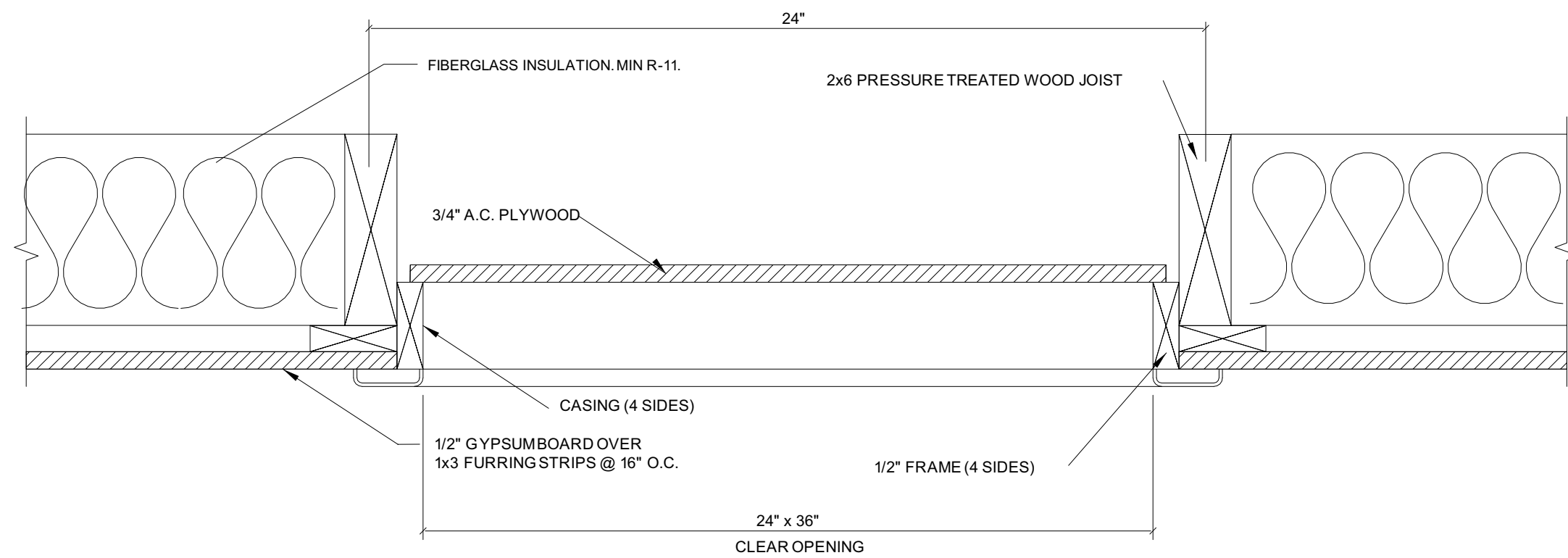




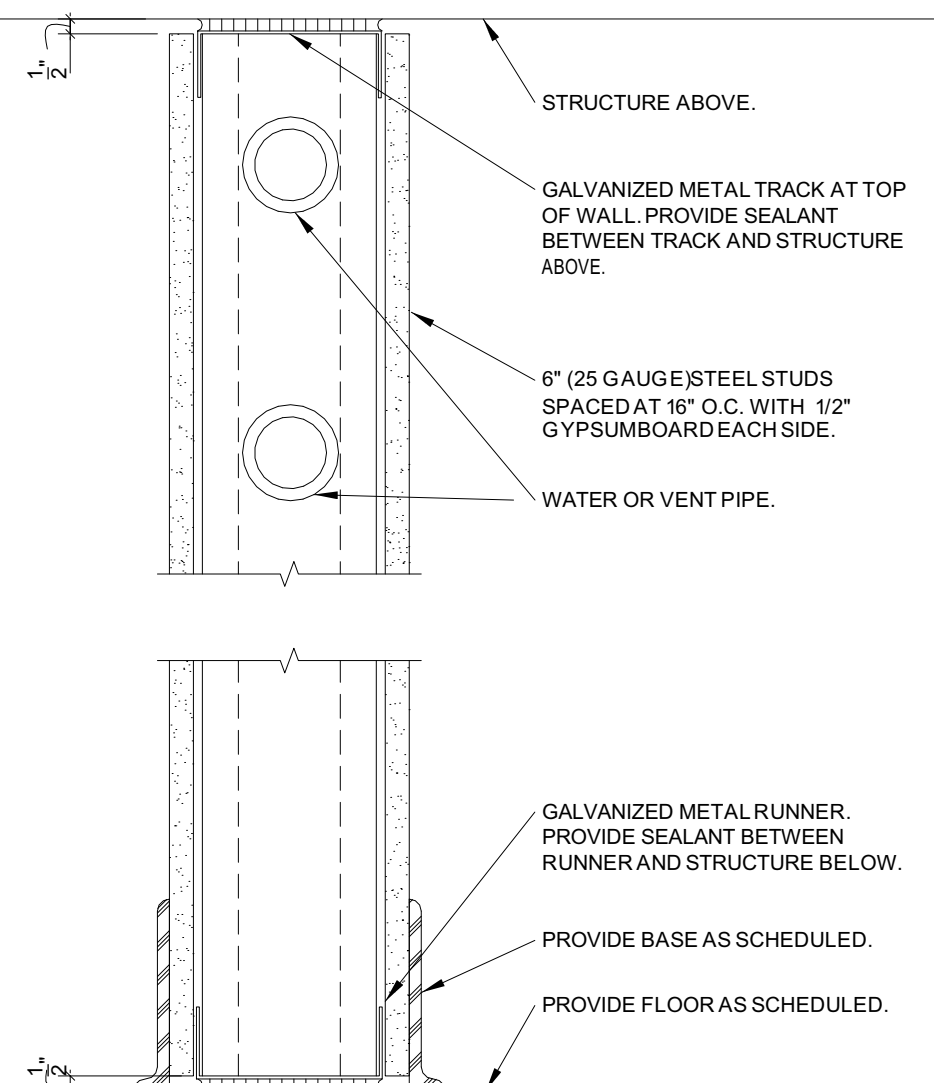
9 Door Jamb  
3/32" = 1'-0"



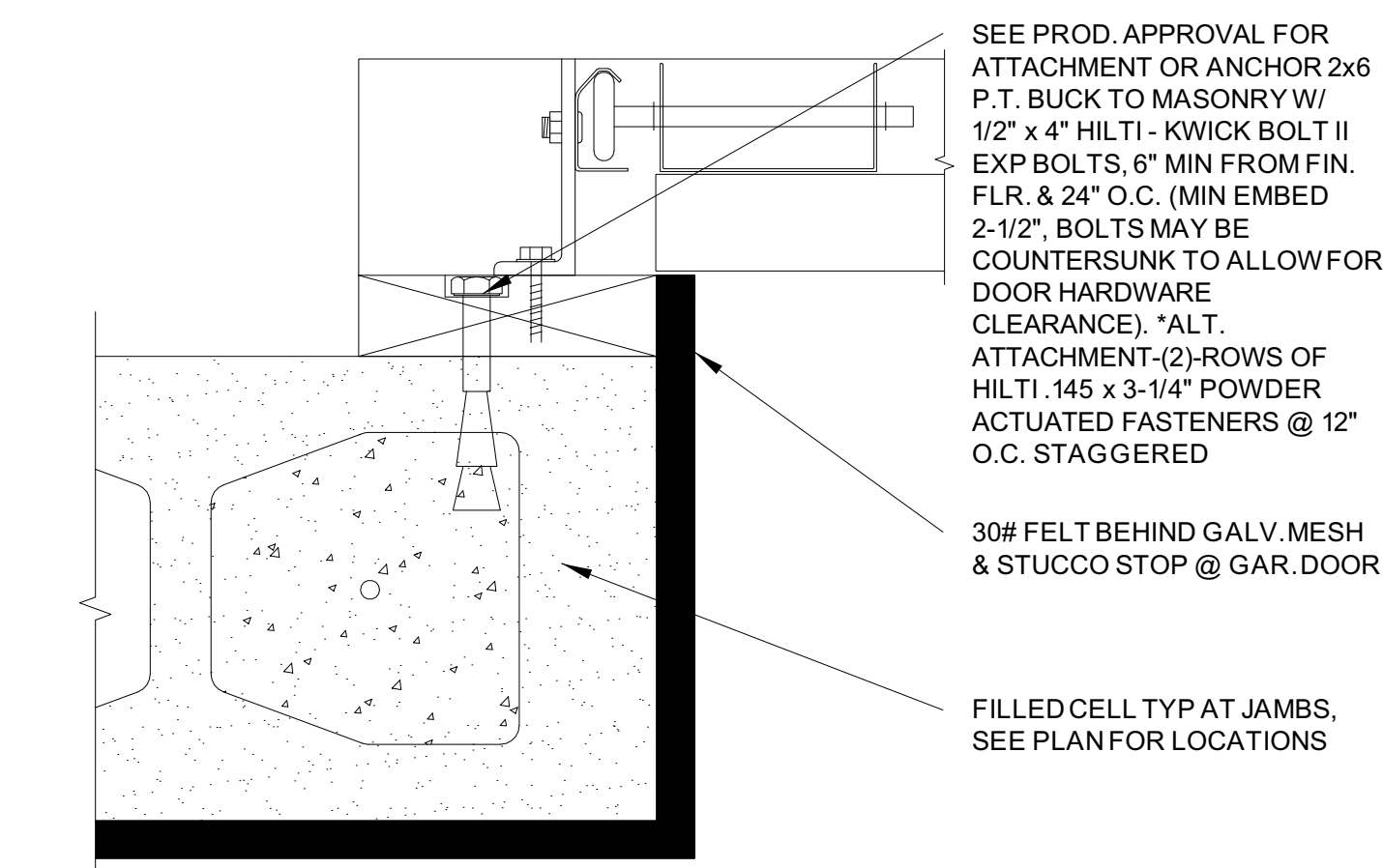
10 Soffit Detail  
3/4" = 1'-0"



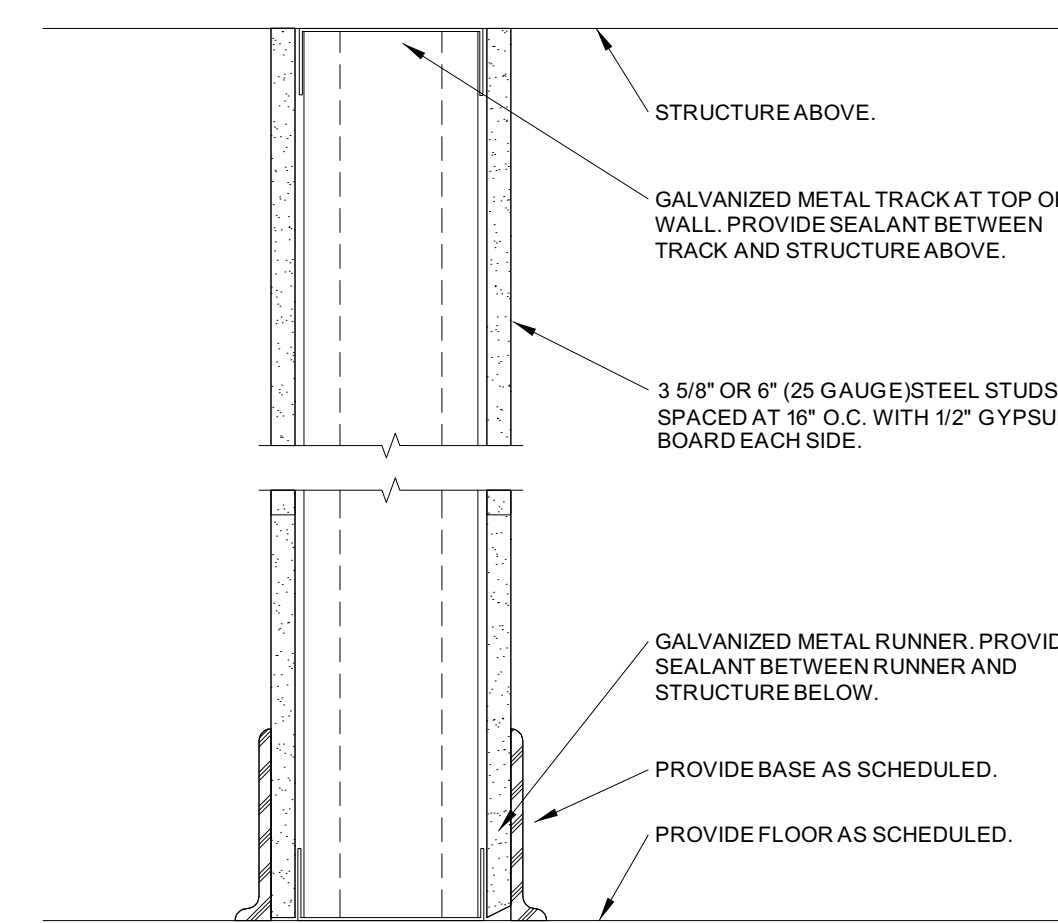
6 Attic Access  
1/4" = 1'-0"



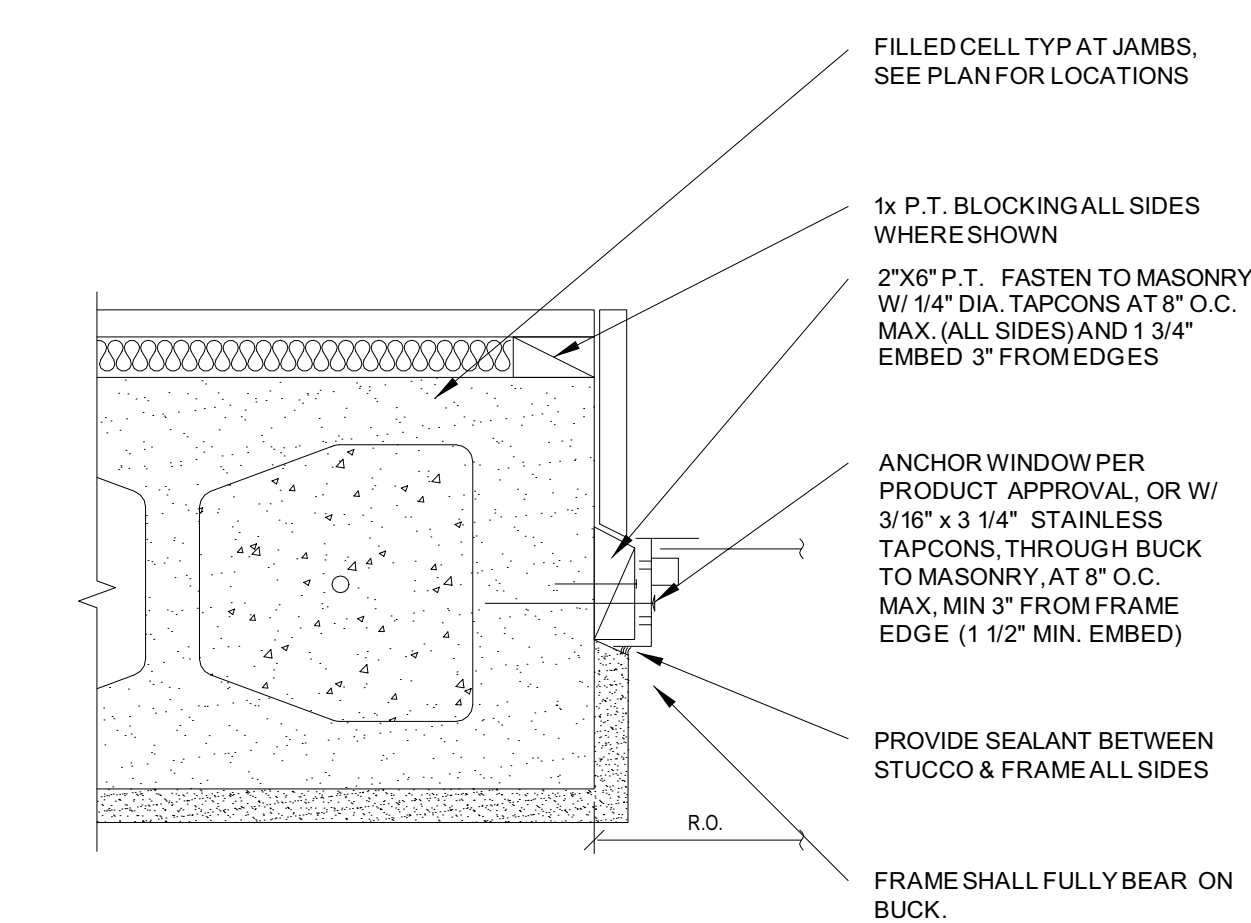
5 METAL PARTITION WITH PLUMBING  
3" = 1'-0"



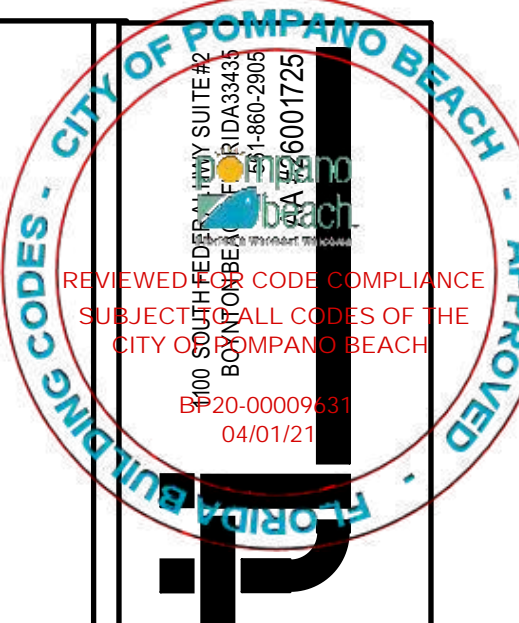
3 GARAGEDOOR JAMB DETAIL  
3/32" = 1'-0"



4 STANDARD METAL PARTITION  
3" = 1'-0"



2 Window Jamb  
3/32" = 1'-0"



HAROLD TUTTLE  
P.E.  
AR #0015395

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Date: 2020.12.08 11:54:53 -0500



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