## GENERAL CONSTRUCTION NOTES

PRIOR TO SUBMITTING BIDS AND CONTRACT TO OWNER THE GENERAL CONTRACTOR AND THEIR SUB-CONTRACTORS ARE REQUIRED TO VISIT SITE AND VERIFY ALL INFORMATION ON CONSTRUCTION DOCUMENTS

SHOP DRAWINGS SHALL BE PREPARED FOR REINF. STEEL, WOOD TRUSSES AND STRUCTURAL STEEL LISTED ABOVE AND SUBMITTED FOR APPROVAL PRIOR TO THE FABRICATION AND/OR INSTALLATION OF THOSE ITEMS. WHERE CALCS ARE REQUIRED, THEY SHALL BE SUBMITTED WITH TEH SHOP DRAWINGS.

ALL WORK SHALL BE DONE BY MECHANICS SKILLED IN THEIR TRADE AND SHALL BE INSTALLED IN A NEAT, WORKMANLIKE MANNER IN ACCORDANCE WITH THTE BEST TRADE PRACTICES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF UNABLE, FOR ANY REASON, TO COMPLY WITH THE REQUIREMENTS OF THESE NOTES AND DRAWINGS.

THE CONTRACTOR SHALL SUBMIT ALL FABRICATION SHOP DRAWINGS, SAMPLES, AND FIXTURE CUTS FOR THE ARCHITECTS REVIEW AS REQUIRED AND/OR INDICATED ON THE DRAWINGS. THE ARCHITECT'S REVIEW DOES NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY TO COORDINATE ALL TRADES AND TO CHECK QUANITIES AND DIMENSIONS AGAINST CONDITIONS IN THE FIELD. CONTRACTORS AND ENGINEERS SHALL ASSUME RESPONSIBILITY FOR ALL ERRORS ON THEIR DRAWINGS. (SUBMIT FOUR COPIES EACH.)

BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK, EACH TRADE SHALL VERIFY ALL MEASUREMENTS AT BUILDING AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA CHARGE OR COMPENSATION WILL BE CHARGED DUE TO DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS. ANY DISCREPANCIES FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION AND CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.

SHOULD ANY ERRORS OR DISCREPANCIES APPEAR OR ANY DOUBT ARISE AS TO THE TRUE MEANING OF THE DRAWINGS OR NOTES, THE CONTRACTOR SHALL BRING SUCH ITEMS TO THE ATTENTION OF THE ARCHITECT BEFORE SUBMITTING A PROPOSAL FOR CORRECTION OF SAME. AFTER THE SUBMISSION OF PROPOSAL, THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ALL SUCH ITEMS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY AND ACCURATELY LAYING OUT THE WORK AND FOR THE LINES AND MEASUREMENTS HEREIN. THE CONTRACTOR SHALL ESTABLISH THE NECESSARY REFERENCE MARKS AND PERMANENT BENCHMARKS FROM WHICH BUILDING LINES AND ELEVATIONS SHALL BE TAKEN.

FULL SCALE, OR LARGE SCALE DETAILS OR DRAWINGS SHALL GOVERN OVER SMALL SCALE DRAWINGS WHICH THEY ARE INTENDED TO AMPLIFY. DETAILS OR CONDITIONS INDICATED FOR A PORTION OF THE WORK BUT NOT CARRIED OUT FULLY FOR OTHER PORTIONS SHALL APPLY THROUGHOUT TO ALL SIMILAR PORTIONS EXECPT AS OTHERWISE SPECIFICALLY NOTED. IN EVERY CASE, A HIGHER QUALITY ITEM OR METHOD SHALL BE ASSUMED OVER A LESSOR QUALITY ONE, AND DIMENSIONS SHALL BE FIGURED RATHER THAN BE DETERMINED BY RULER OR SCALE.

THE STANDARD SPECIFICATIONS OF ANY MANUFACTURER APPROVED FOR USE IN THE PROJECT ARE HEREBY MADE PART OF THESE NOTES WITH THE SAME FORCE AND EFFECT AS THROUGH WRITTEN OUT IN FULL HEREIN, EXCEPT THAT WHEREVER THE DRAWINGS REQUIRE HEAVIER MEMBERS, BETTER QUALITY MATERIALS, OR ARE OTHERWISE MORE STRINGENT, THESE MORE STRINGENT REQUIREMENTS SHALL GOVERN.

INFORMATION, PLANS, OR DETAILS AS MAY BE REQUIRED FOR THE PROPER INSTALLATION AND COMPLETION OF THEIR WORK. ALL MATERIALS SHALL BE ORDERED SUFFICIENTLY AHEAD OF TIME SO THAT THE WORK CAN PROCEED ON SCHEDULE. NO SUBSTITUTIONS WILL BE ACCEPTED FOR FAILURE TO DO SO.

ANY MATERIALS DELIVERED OR WORK PERFORMED, CONTRARY TO THE DRAWINGS, SPECS AND APPROVED SHOP DRAWINGS, SHALL BE REMOVED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSIVE, AND THE WORK SHALL BE REPLACED WITH OTHER MATERIALS OR WORK SATISFACTORY TO THE ARCHITECT. THE CONTRACTOR SHALL ALSO ASSUME THE COST OF REPLACING THE WORK WHICH MAY BE DISTURBED.

THE PREMISES AND THE JOB SITE SHALL BE MAINTAINED IN A REASONABLY NEAT AND ORDERLY CONDITION AND KEPT FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH DURING THE ENTIRE CONSTRUCTION PERIOD.

THE CONTRACTOR SHALL KEEP THE ARCHITECT INFORMED OF THE PROGRESS OF THE WORK.

ALL FINISH. FIXTURE AND EQUIPMENT SELECTIONS SHALL BE VERIFIED WITH THE OWNER OR THE AUTHORIZED AGEN'

ALL WORK SHALL BE SUBJECT TO FINAL INSPECTION BY THE ARCHITECT AND ACCEPTANCE BY THE OWNER.

FLASHING SHALL BE PROVIDED AS NECESSARY TO PREVENT THE ENTRANCE OF WATER AT OPENINGS IN, OR PROJECTIONS THROUGH EXTERIOR WALLS, AT INTERSECTIONS OF EXTERIOR WALL COVERINGS OF DIFFERENT MATERIALS, AND AT OTHER POINTS SUBJECT TO THE ENTRANCE OF WATER. FLASHING SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

GYPSUM WALLBOARD SHALL COMPLY WITH THE PROVISIONS OF THE "SPECIFICATIONS FOR GYPSUM WALLBOARD," A.S.T.M. #C-36. GYPSUM WALLBOARD SHALL BE INSTALLED AND FININSHED IN ACCORDANCE WITH THE PROVISIONS OF THE "RECOMMENDED SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD," GYPSUM ASSOCIATION SPECIFICATION #GA-216.

AIR CONDITIONING CONTRACTOR SHALL BE RESPONSIBLE FOR THE AIR CONDITIONING AND HEATING SYSTEM DESIGN, LOAD CALCULATIONS, AND SYSTEM SHOP DRAWINGS. SHOP DRAWINGS SHALL INCLUDE, BUT NOT NECESSARY BE LIMITED TO, UNIT SPECIFICATIONS, DUCT LAYOUT AND DROP LOCATIONS, AND ALL OTHER INFORMATION REQUIRED BY THE BUILDING DEPARTMENT FOR THE PERMIT PROCESS. THE A/C CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING TO THE REQUIREMENTS SET FORTH IN THE "FLORIDA ENERGY EFFICIENCY CODE" AS CALCULATED FOR THIS SPECIFIC PROJECT.

## **DESIGN TEAM**

■ ARCHITECT: TI ARCHITECTURE, INC.

CONTACT: HAROLD TUTTLE

ADDRESS: 3000 HIGH RIDGE ROAD #2
BOYNTON BEACH, FL. 33426

PHONE: (561) 860-2905

EMAIL: harold@tiarchitecture.com

■ STRUCT. ENGINEER: TRIO DESIGN CONST., LLC

ADDRESS: 17100 COLLINS A

RESS: 17100 COLLINS AVE., SUITE 224 SUNNY ISLES BEACH, FL. 33160 NE: (305) 940-0555

FAX: (866)295-3579
EMAIL: daverog10@yahoo.com

## ■ M E P ENGINEER: LOUCKS ENGINEERING, INC.

CONTACT: BOB LOUCKS

ADDRESS: 321 EAST COMMERCIAL BLVD. FT. LAUDERDALE, FL. 33334

bob@louckseng.com

PHONE: (954) 938-1881 FAX: (954) 938-1884

EMAIL:

## CODE DATA

1. JURISDICTION: CITY OF POMPANOBEACH, FLORIDA APPLICABLE CODES:

BUILDING: RESIDENTIAL:

2017 FLORIDA RESIDENTIAL BUILDING CODE 2017 FLORIDA PLUMBING CODE 2017 FLORIDA MECHANICAL CODE

2017 FLORIDA BUILDING CODE

MECHANICAL: 2017 FLOR ELECTRICAL: NEC 2012

## IRREGULAR LOT NOTE

DUE TO THE IRREGULAR SHAPE OF THIS LOT AND THE LAYOUT OF THIS HOUSE, IT IS THE BUILDER'S RESPONSIBILITY TO HAVE A REGISTERED LAND SURVEYOR "STAKE-OUT" SLAB PERIMETER BEARING WALL AND STRUCTURAL COLUMN LOCATIONS AND VERIFY THAT THE HOUSE IS POSITIONED WITHIN ALL REQUIRED SETBACKS AND EASEMENTS. THE SURVEYOR SHALL NOTIFY THE ARCHITECT AND BUILDER IF ANY PORTION OF THE HOUSE ENCROACHES INTO A REQUIRED SETBACK OR EASEMENT. THE ARCHITECT WILL WORK WITH THE BUILDER BASED UPON INFORMATION SUPPLIED BY THE SURVEYOR, TO MAKE ANY NECESSARY ADJUSTMENTS TO THE CONSTRUCTION DRAWINGS. NO WORK SHALL BE FABRICATED OR STARTED UNTIL SUCH TIME AS THE ARCHITECT HAS ISSUED THE BUILDER REVISED CONSTRUCTION DRAWINGS. THE BUILDER SHALL BE RESPONSIBLE FOR COORDINATING AND INFORMING ALL TRADES OF SUCH REVISIONS.

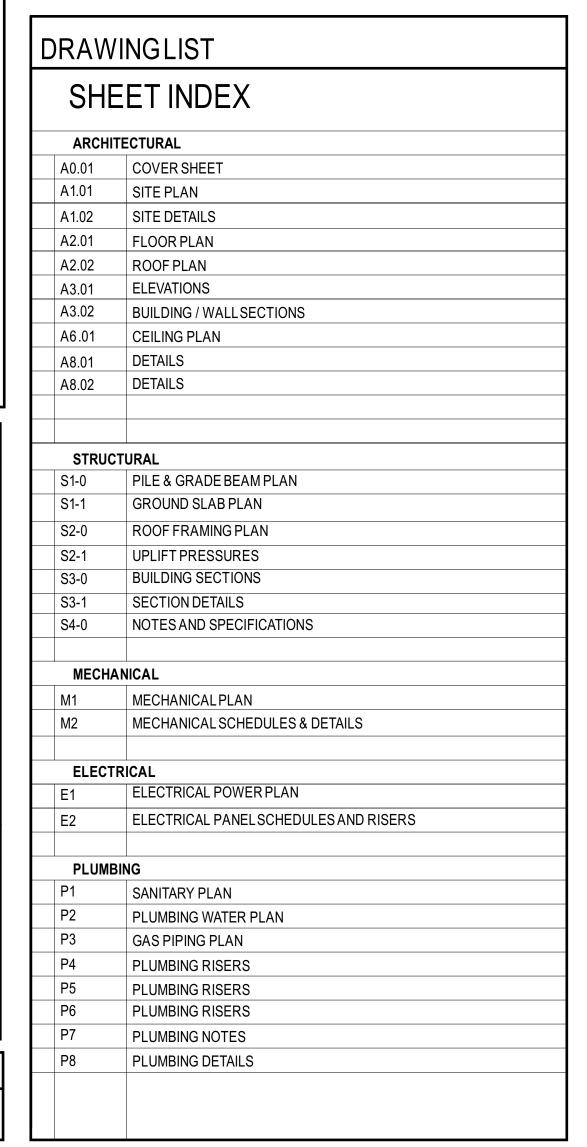
DUE TO THE INTRACACY OF THE 45-DEGREE ANGLES WITH RELATIONSHIP TO THE STRUCTURAL FIRST AND SECOND FLOOR LAYOUT, THE BUILDER SHALL EXERCISE EXTREME CARE DURING THE LAYOUT OF THE FOUNDATION PERIMETER, BEARING WALLS AND PAD FOOTINGS.

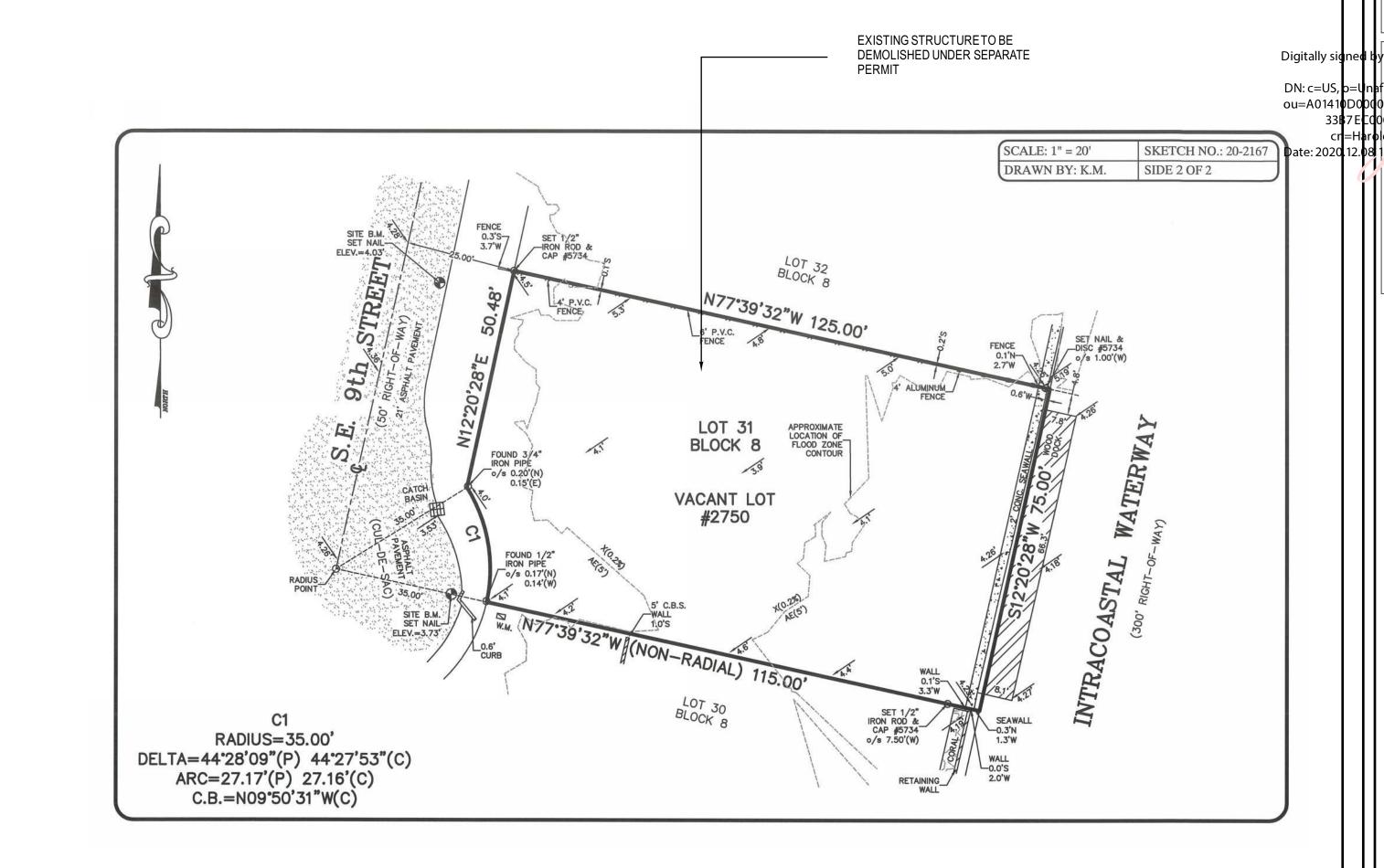
## FINISH FLOOR ELEV. NOTE

LOWEST LEVEL LIVING AREA FLOOR SLAB SHALL BE A MINIMUM OF 18" ABOVE THE CROWN OF ROAD, OR AS PER GOVERNING CODE.

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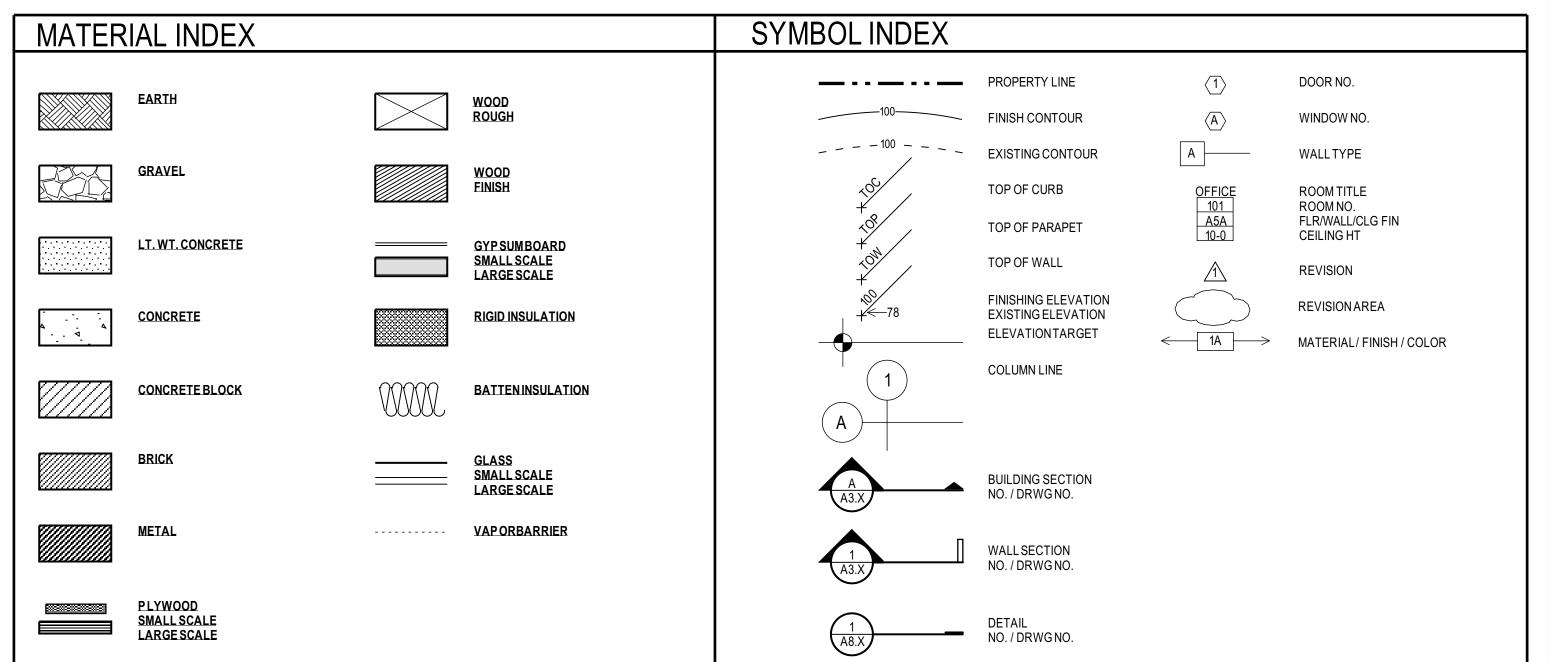
# NEW SINGLE FAMILY CONSTRUCTION for: BOAZ RESIDENCE 2750 SE 9TH STREET, POMPANO BEACH, FL. 33062





# **EXISTING SITE SURVEY**

## **ABBREVIATIONS** Angle LAM. Laminate S.C. Solid Core S.C.D. Seat CoverDispenser PRCST. Precast U.O.N. Unless Otherwise Noted Catch Basin Center line G.B. Grab Bar GL. Glass GND. Ground LAV. Lavatory E.E. Each End Diameter or Round CEM. Cement PL. Plate UR. Urinal LKR. Locker Perpendicular CTR. Center E.F. Each Face P.LAM. Plastic Laminate SCHED. Schedule Light E.S. Each Side S.D. So ap Dispenser SECT. Section CTRS. Centers PLAS. Plaster Po und or Number E.W. Each Way Grade C / C Center to Center PLYWD.Plywood GYP. CER. Ceramic E.J. Expansio nJo int Gypsum VERT. Vertical SHR. Shower Elevation Po int VEST. Vestibule Cast Iron MAX. Maximum ELEC. Electrical P.T.D. Paper To welDispenser CLG. Ceiling Sheet Medicine Cabinet CLKG. Caulking ELEV. Elevator P.T.D./R.CombinationPaper Towel MECH. Mechanical CLO. Closet EMER. Emergency H.B. Ho se Bibb AnchorBolt(s) Dispenser & Receptacle MEMB. Membrane P.S.F. Poundsper Square Foot CLR. Clear ENCL. Enclosure HollowCore S.N.D. Sanitary Napkin Dispenser Abo ve MET. Metal HDWD. Hardwood American Concrete Institute Column E.P. Electrical Panelboard P.S.I. Poundsper Square Inch S.N.R. Sanitary Napkin Receptacle MFR. Manufacturer EQ. Equal HDWE. Hardware PTN. Partition CONC. Concrete SP. ACOUS. Acoustical Water Clo set MH. Manho le EQ. SP. Equal Space (s)(ing) P.T.R. Paper To welReceptacle H.M. HollowMetal SPEC. Specification WD. Area Drain C.M. Concrete Masonry Wood HORIZ. Horizontal MIN. Minimum Adjustable C.M.U. Concrete Maso nry Unit EQPT. Equipment Square Wall Footing E.W.C. Electric Water Cooler SST. AGGR. Aggregate W/O Without CONN. Connection Stainless Stee MISC. Miscellaneous EXST. Existing Height S.SK. Service Sink CONSTR.Construction Waterproof M.O. Maso nry Opening EXPO. Exposed C.J. Controlloint Q.T. W.P. WorkingPoint MTD. Mo unted CONT. Continuous EXP. Expansion WSCT. Wainscot STD. Standard APPROX, Approximate MUL. Mullio n EXT. Exterior CORR. Corridor ARCH. Architect(ural) STL. Steel WT. Weight Inside Diameter (Dim.) Asbesto s CTSK. Countersunk STOR. Storage W.W.F. Welded Wire Fabric CNTR. Counter INSUL. Insulation ASPH. Asphalt STR. Strength F.A. Fire Alarm Interio r STRL. Structural RAD. Radius F.D. FloorDrain SUSP. Suspended N.I.C. No tin Contract REF. Reference FDN. Fo undation SYM. Symmetrical NO. or# Number F.E. Fire Extinguisher REFR. Refrigerator NOM. No<sup>®</sup>minal Janito r DEPT. Department F.E.C. Fire Extinguisher Cabinet RGTR. Register N.T.S. Notto Scale F.H.C. Fire Ho se Cabinet Jo ist REINF. Reinforced Board Drinking Fountain FIN. Finish Jo int TRD. Tread BITUM. Bitumino us DET. Detail REQ. Required Diameter Floor RESIL. Resilient T.O.C. TopofCurb DIM. FLASH. Flashing Block RM. Room Dimensio n Overall FLUOR. Fluorescent R.O. Rough Opening DISP. BLKG. Blocking Dispenser Obscure KIT. Kitchen Down F.O.C. Face of Concrete TER. Terrazzo On Center F.O.F. Face of Finish T. & G. Tongue and Groove D.O. DoorOpening R.W.L. Rain Water Leader Botto m Outside Diameter F.O.S. Face of Studs Bearing Door THK. Thick OFF. Office DWR. Drawer F.O.W. Face of Wall T.O.P. TopofPavement OPNG. Opening OPP. Opposite FPRF. Fireproof TOP'G Topping Both Sides DS. Downspout T.P.D. To ilet Paper Dispenser F.S. Full Size D. SP. Dry Standpipe DWG. Drawing DWL. Do wel FT. FootorFeet T.V. Television T.O.W. TopofWall TYP. Typical FTG. Footing FURR. Furring





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V SINGLE FAMILY CONSTRUCTION for: BOAZ RESIDENCE 9TH STREET, POMPANOBEACH, FL. 33062

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## EXISTING WOOD DOCK Tho se construction sites abutting a waterway must include the installatio nand SITE PLANNOTES SITE INFORMATION maintenance of a silt fence approved by a development service spermit to prevent any soil EXISTING CONC. SEAWALL or construction debris from the construction site from entering the waterway. (Silt fence CONTRACTORS AND SUBCONTRACTORS SHALL PERFORMANY CONSTRUCTION IN must be installed in accordance with the Florida Stormwater, Erosio nand Sedimentation LEGAL DESCRIPTION: ACCORDANCE WITH ALL CODES REGULATIONS. HAVING JURISDICTION AND Contro Inspector's Manual.) LOT 31, BLOCK 8, OF "POMPANO ISLES - SECTION B", ACCORDING TO THE PLAT RESTRICTIONS AND SHALL BE RESPONSIBLE FOR THE SAME. THEREOF, AS RECORDED IN PLAT BOOK 31, PAGE 8, OF THE PUBLIC RECORDS OF ALL DIMENSIONS SHALL BE VERIFIED PREVIOUS TO AND CONSTRUCTION BY THE BROW ARD COUNTY, FLORIDA. CONTRACTOR AND/OR SUB-CONTRACTOR. CONTRACTOR AND/OR SUBTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY TO THE CONSTRUCTION CONSTRUCTION & OCCUPANCY TYPE: II-B (FBC) TYPE II (000) NFPA 220 DOCUMENTS. TYPE OF CONSTRUCTION GROUP R-3 OCCUPANCY: 3 SURVEYORS SHALL VERIFYALL SITE DIMENSIONS PRIOR TO THE CONSTRUCTION FLORIDA BUILDING CODE 2017 AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY TO THE **BUILDING CODE:** NATIONAL ELECTRIC CODE 2008 CONSTRUCTION DOCUMENTS. ANSI\ASCE 7-10 FOR WIND LOADS. **ZONING DESIGNATION:** 4 CONTRACTOR TO VERIFY ALL SETBACKS, EASEMENTS, R.O.W. SIZE AND LOCATIONS (170 MPH WIND SPEED EXPOSURE"C") RS-2 SINGLE FAMILY RESIDENCE 2 (RS-2) AND BE RESPONSIBLE FOR THE SAME. 3 SEC. GUST FLOOD ZONE: THE DRAINAGESWALE WILL BE A MINIMUM OF 2 INCHES LOWER THAN THE EDGE OF THE STREET IN THE DRIVEWAY AND A MONIMUM OF 6 INCHES LOWER IN THE GRASS. ALUM. PICKET FENCE FLOOD ZONE & ELEVATIONS: 75% SEE THROUGH OWNER SHALL SUBMIT A FINAL SURVEY TO THE CITY ENGINEER OFFICE PRIOR TO FLOOD ZONE: AE/X(0.2%) 48" HIGH BLACK THE FINAL INSPECTION. SURVEY MUST INCLUDE SUFFICIENT TOPOGRAPHY TO LANDSCAPE ALUM, PICKET FENCE LANDSCAPE BASE FLOOD ELEVATION: 5' CONTROL PANEL NO.: 120055-0378-H DATE OF FIRM INDEX: VERIFY CONFORMANCE TO THE DESIGN, APPROXIMATE LOCATIONS OF THE SEPTIC AREA AREA 75% SEE THROUGH 08/18/14 TANK, DRAINFIELD, WELDS, AND SERVICE LINES TO THE BUILDING. REFERENCE BENCHMARK.: 7 PLEASE SEE CIVIL ENGINEERING PLANS FOR GRADES AND DIMENSIONS. BROW ARD COUNTY B.M.# 651 ELEVATION=3.560' (NGVD 1929) ELEV A TION = 1.985' (NA VD DECK UNDER SEPARATE PERMIT FINISH FLOOR ELEVATION SHALL NOT BE LESS "THAN 18" ABOVE THE CROWN OF THE ROAD". DESIGN FLOOR ELEV. = +7.0 NAVD 2,990.7720 Sq ft MAXIMUN SLOPE SHALL NOT EXCEED 4(H): 1 (V). \_\_\_\_\_ SITE DATA REQUIRED PROPOSED OUTDOOR SITE PLANNOTES 7,000 9,206 Lotarea, minimum (sq ft) HORIZONTALAND VERTICAL CONTROL SHALL BE PROVIDED BY THE OWNER'S Lotwidth, minimum (ft) SURVEYOR. LAYOUT IS THE REPONSIBILITY OF THE CONTRACTOR. Density, maximum (du/ac) See ComprehensivePlan Floorarea per dwelling unit, minimum (sq ft) IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE 3.700 48" HIGH GATE W/ CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN Lotcoverage, maximum (% of lot area) MAGNA-LATCH THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMMEDIATELY BROUGHT TO Perviousarea, minimum (% oflotarea) Height, maximum (ft) THE ATTENTION OF THE ENGINEER. 48" BLACK ALUM. PICKET FENCE 1-STORY RESIDENCE Frontyard setback, minimum (ft) IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND 3,700 Sq ft Setbackfroma waterway or canal, minimum (ft) UTILITIES LOCATED PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH 7.5 (Side) Interiorside yard setback, minimum (ft) (INCLUDING GARAGE) EXCAVATION SHALL BE PROCEED WITH EXTREME CAUTION. IN THE EVENT THAT Interiorside yard setback, minimum (ft) 7.5 (Side) EXISTING UTILITIES ARE DAMAGED, IT SHALL BE RESPONSIBILITY OF THE F.F. ELEV. 0'-0": +7.00' (NAVD) CONTRACTOR TO REPAIR OR REPLACESUCH DAMAGES. Required FrontYard, PerviousArea, minimum (% of BASE FLOOD ELEV. = +5.0' (NAVD) +1'-0" = Required Front Yard) 50% CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTING ANY DISTURBED EXISTING +6.0 (NAVD) MIN. DESIGN ELEV. MANHOLES. METERS, VALVEBOXES, BLOW OFF RISERS, ETC. TO THE NEW PERVIOUS PROVIDED: TOTAL FRONT YARD = ELEVATIOS, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON THE DRAWINGS 1.932 Sa ft OF WHICH 1,000 S.F. (52%) OR NOT. 1.000 Saft IS PERVIOUS FOR A TOTAL OF 52% PERVIOUS 7'-6" SETBACI **AREA INFORMATION** 48" HIGH GATE W/ **REQUIRED:** PROVIDED BUILT-IN BAR MAGNA-LATCH MECH. EQUIP. SHALL BE FULLY SCREENED 3 SIDES BY 4' HIGH **PARKING MINIMUM** <u>PARKING</u> **GROUND FLOOR** WHITE PVC FENCE AND THE BACK BY THE HOUSE WALL. 3,217 S.F 2 SPACES UNDER AIR: 2 SPACES THE HEIGHT OF THE FENCE IS AT LEAST SIX INCHES GARAGE 483 S.F.. ABOVE THE HEIGHT OF THE MECHANICAL EQUIPMENT BEING SCREENED. SCREENED ON ALL **UTILITY SERVICE** CITY SEWER 7'-6" SETBACK TOTAL W/ GARAGES 3,700 S.F. <u>CROWNOF ROAD</u> 4.28' NAVD BEDROOM #1 BEDROOM $\sim$ TOTAL FRONT YARD= COVERED ENTRY 1,932 Sq ft OF WHICH 993 Saft IS PERVIOUS LANDSCAPE FOR A TOTAL OF 51% ∠ LANDSCAPE PERVIOUS AREA LANDSCAPE AREA AREA PAVER DRIVEWAY SEE DETAIL A1.02 LOCATION OF TEMP. SEDIMENT BASIN DRIVEWAY TO BE INTERLOCKING PER CITY ORD. 152.06 CONCRETE PAVERSON 6" COMPACTED BASE OF ROAD ROCK SUBBASE MATERIAL, SEE DETAIL A1.02 LANDSCAPE AREA Provide temporary screened fence complying with city ordinance 152.06(b) through Arman arm 152.06(g). Submit separate permit application and indicate estimated job value. LOCATION OF SILT FENCE 1'-0" INSIDE ALL PROPERTY LINES TYP. SEE DTLS SHT. A1.02 LANDSCAPE PER CITY ORD. 152.06 AREA TOTAL RIGHT OF WAY AREA LANDSCAPE AREA = 875 S.F. 573 Sq ft LANDSCAPE SEPARATE APPLICATION & PERMIT REQUIRED FOR: PROVIDED 65% LANDSCAPEPROVIDED -POOL DECK ETC. IN RIGHT OF WAY -FENCES 6" DRAINAGESWALE -POOL (SEE DETAIL A1.02) S.E. 9TH STREET 3" DRAINAGESWALE ENTRANCE/EXT CONTROL (SEE DETAIL A1.02) LOCATION CROWN OF ROAD ELEV. @ 4.28 + 18" = 5.78" MIN. FIN. FLR.

EROSION CONTROL POMPANOBEACH CITY

NEED BUILDING APPLICATION & PLANS FOR EROSION

CONTROL REQUIREMENTS. SHOW LOCATIONS & DETAIL REQUIREMENTS OF TEMPORARY SEDIMENT BASIN, ENTRANCE/EXIT CONTROL, SILT FENCE, ETC.

ORDINANCE 152.06:

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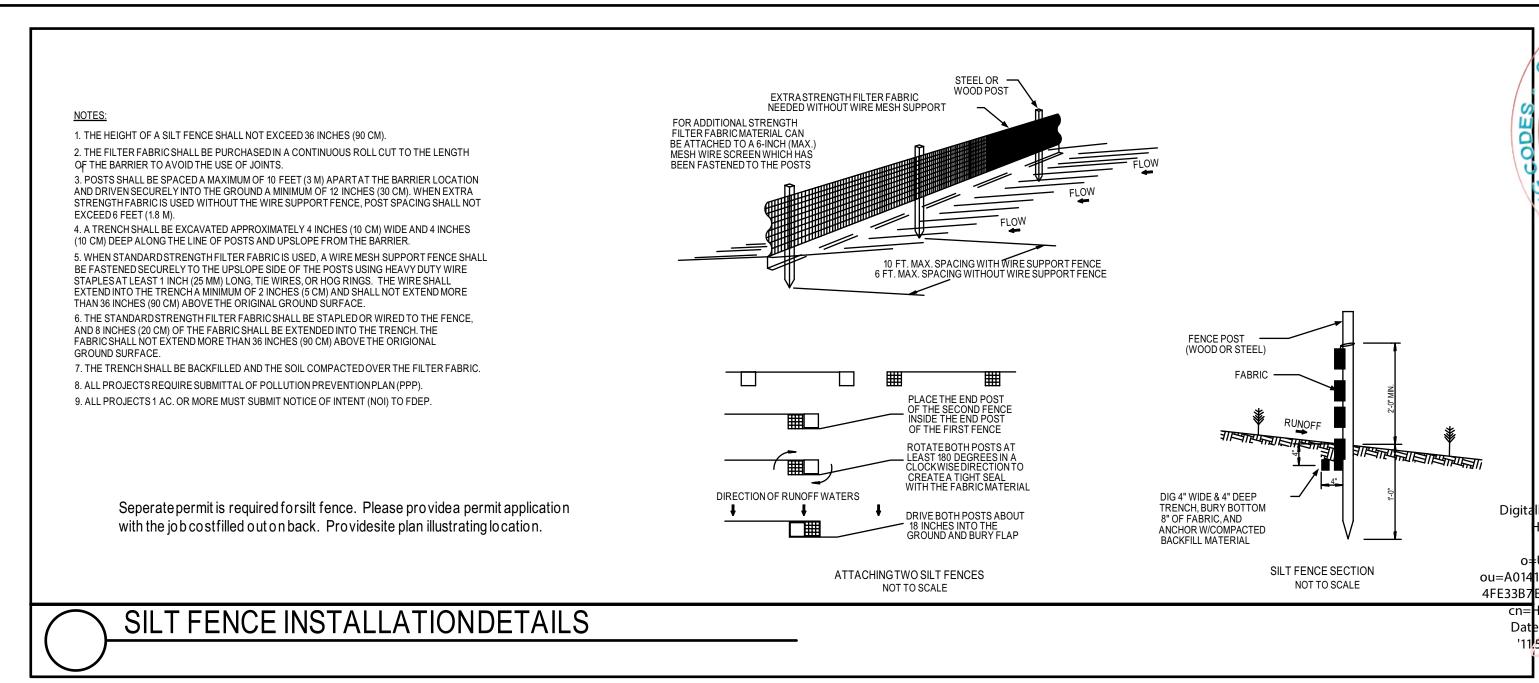
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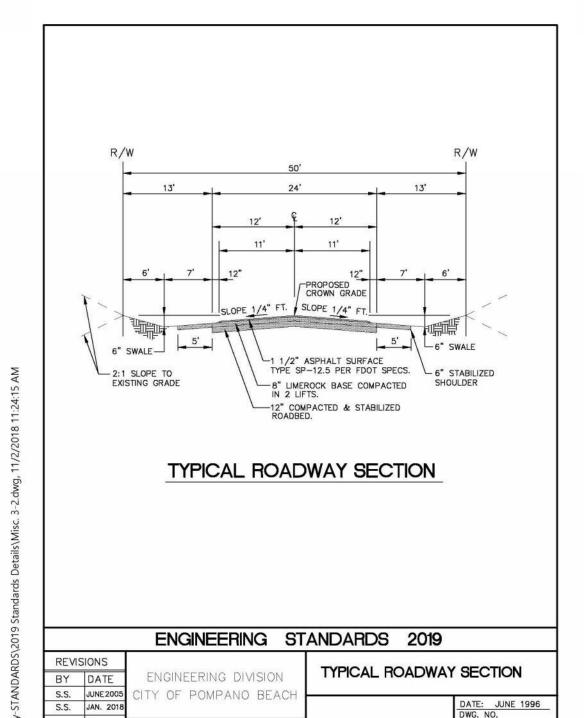
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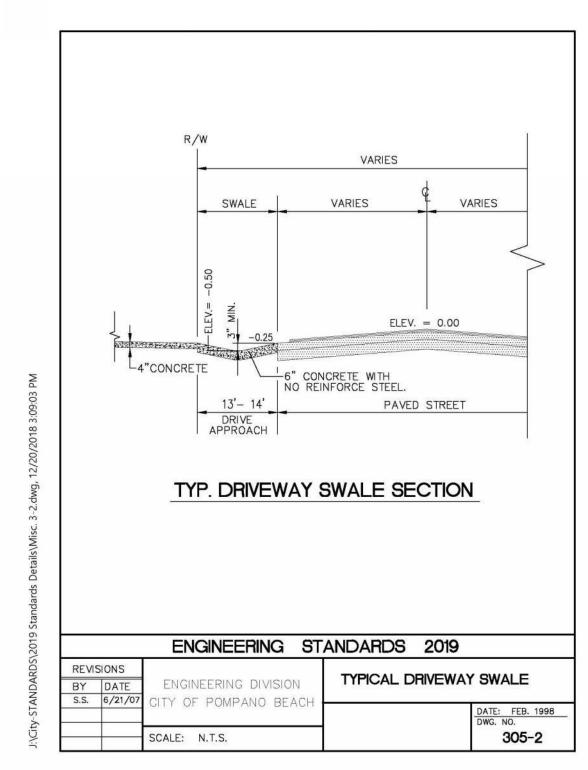
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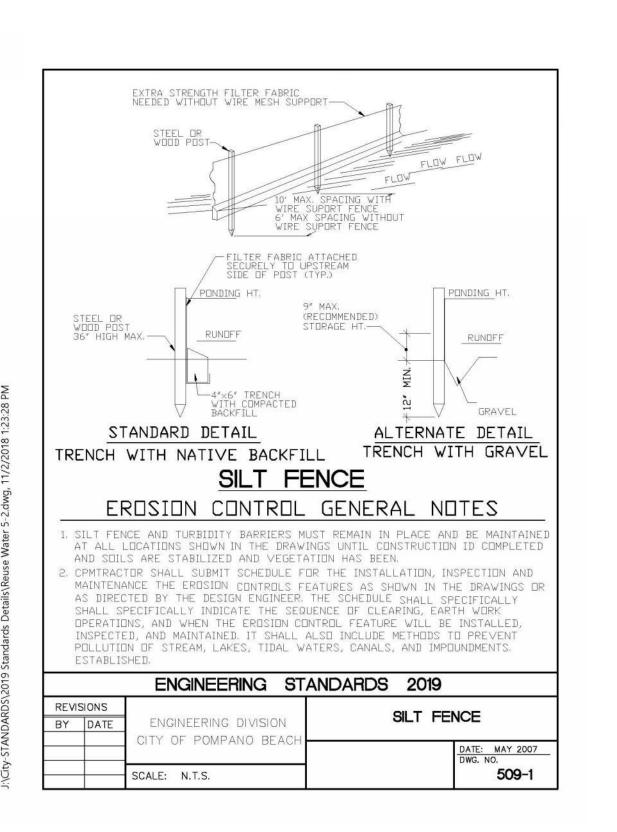


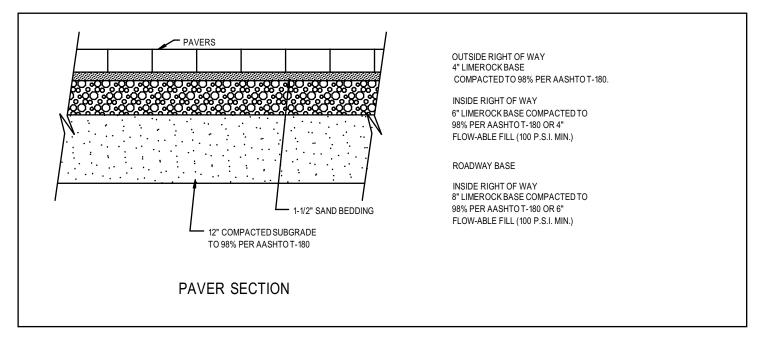


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# NEW SINGLE FAMILY CONSTRUCTION for: BOAZ RESIDENCE 2750 SE 9TH STREET, POMPANOBEACH, FL. 33062

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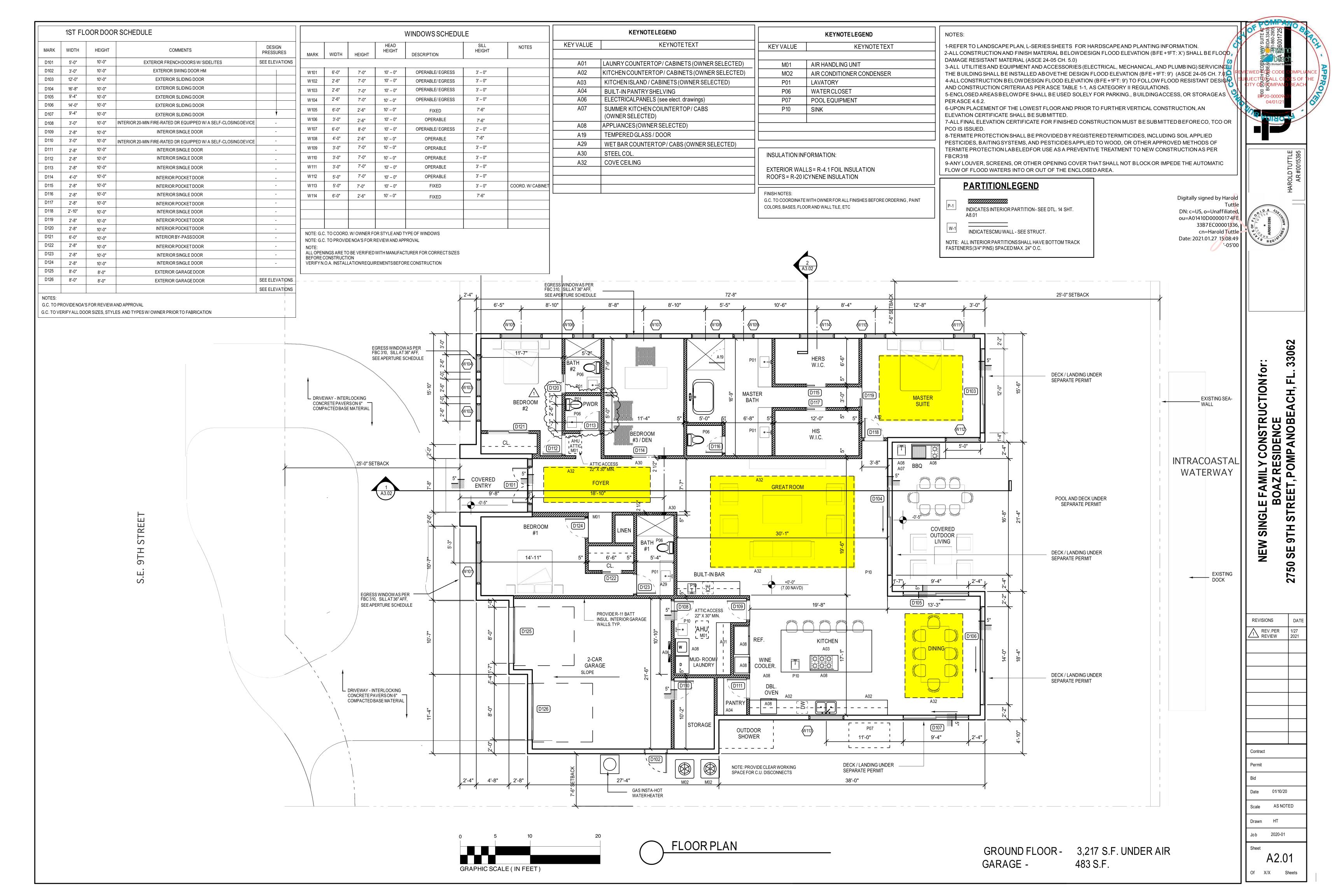
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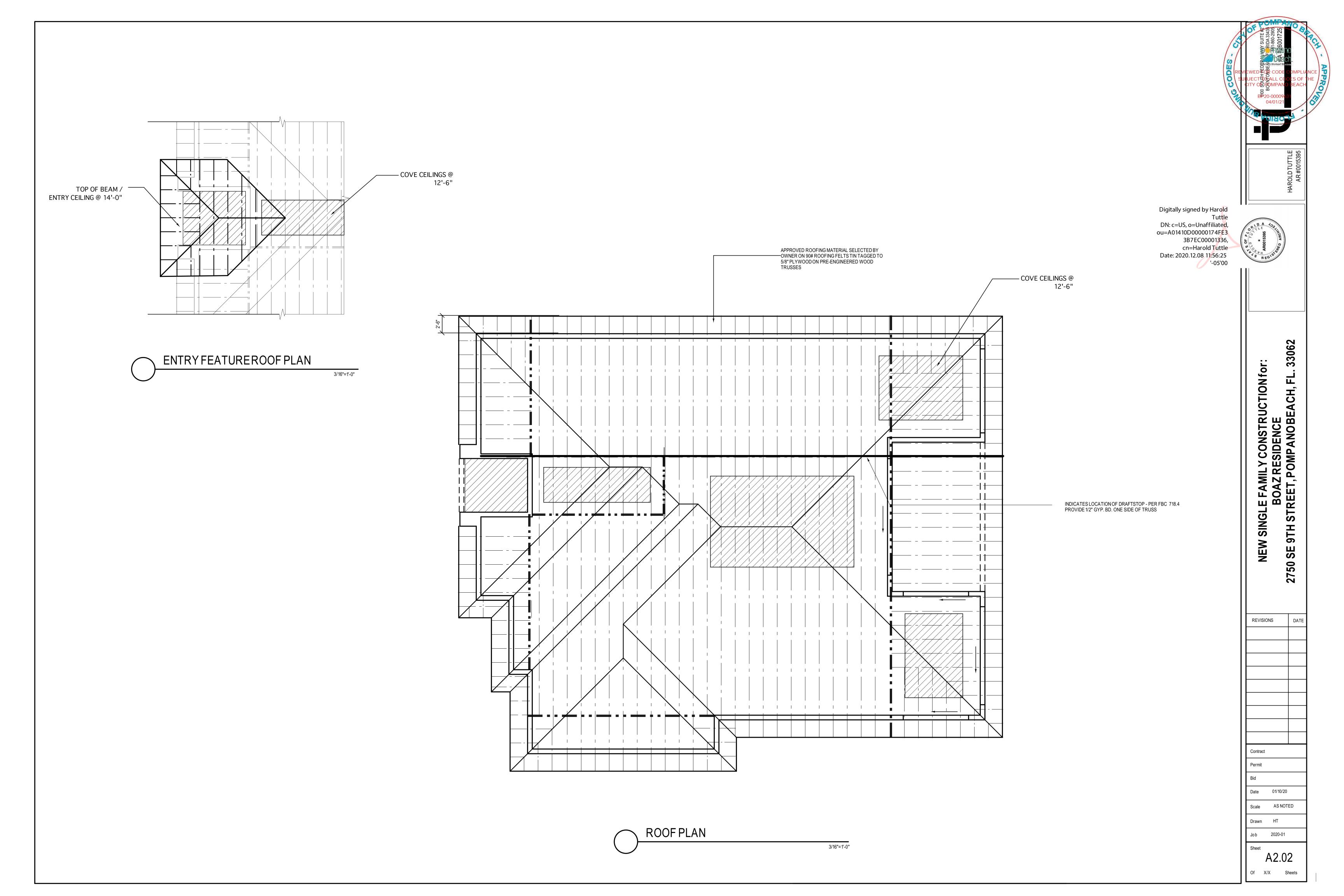
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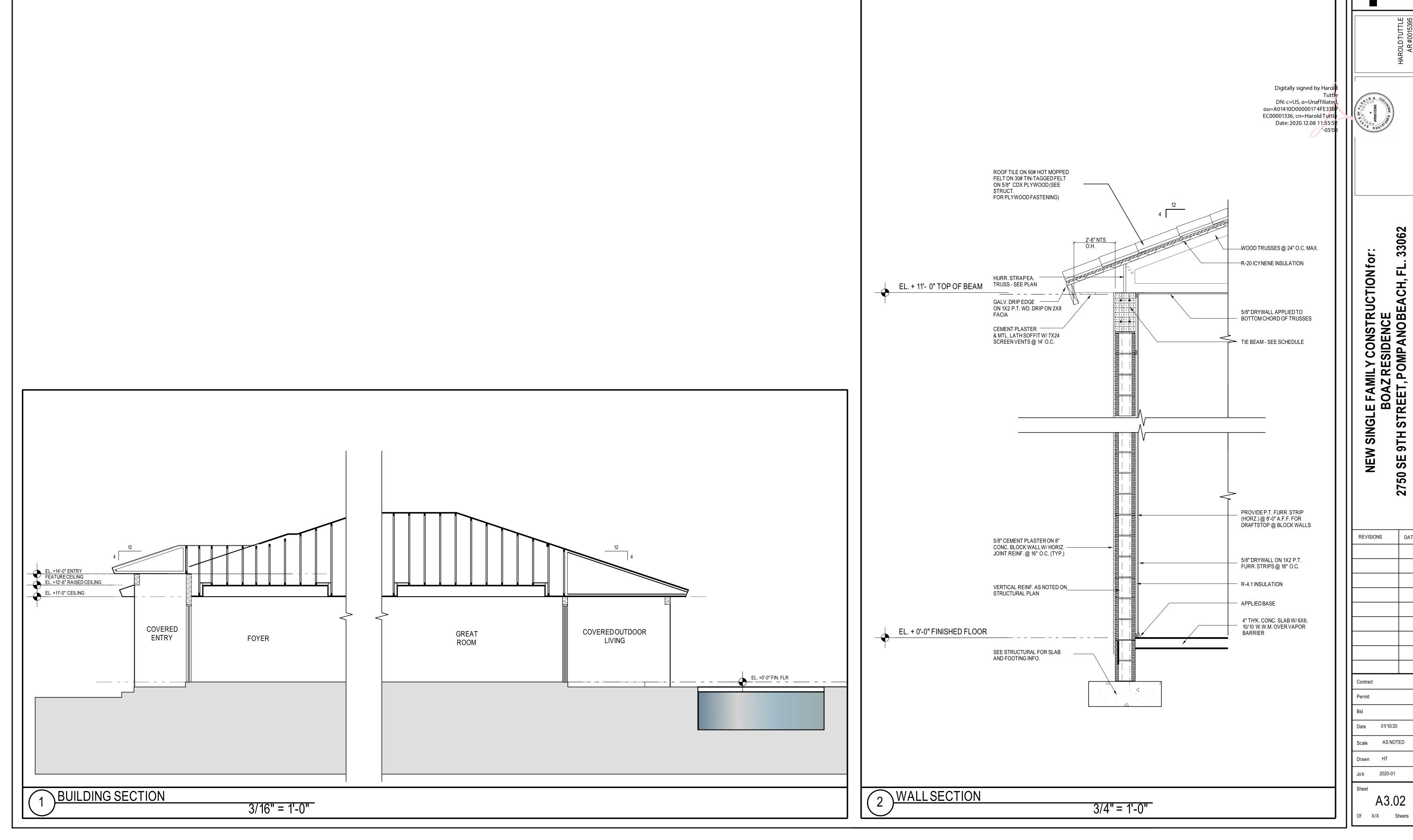
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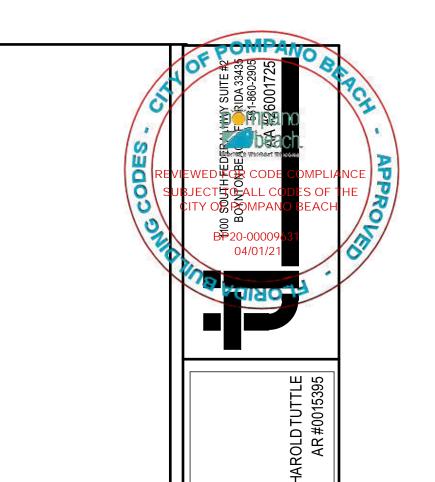
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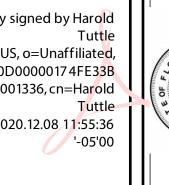








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SINGLE FAMILY CONSTRUCTION for: BOAZ RESIDENCE TH STREET, POMPANOBEACH, FL. 33

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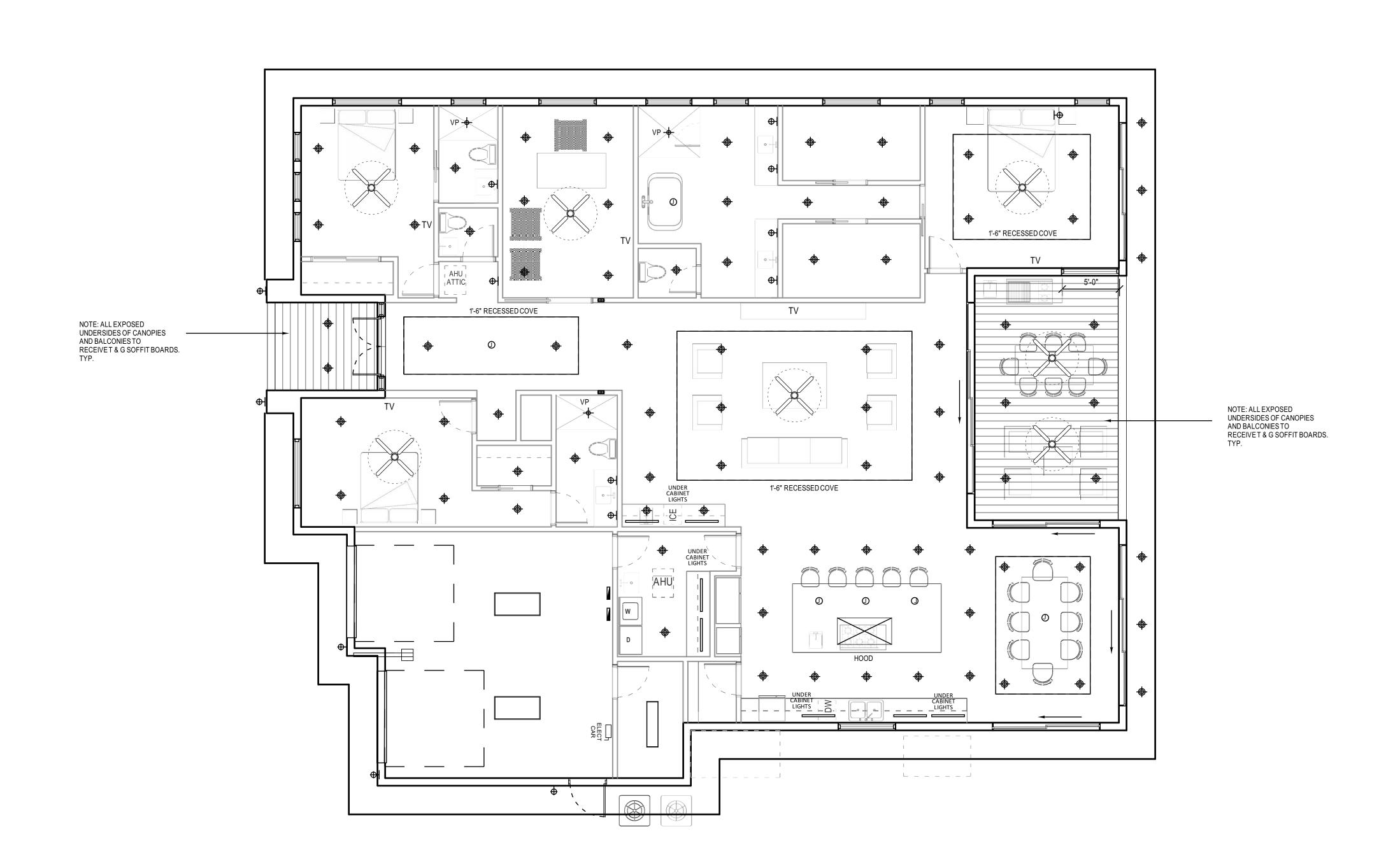
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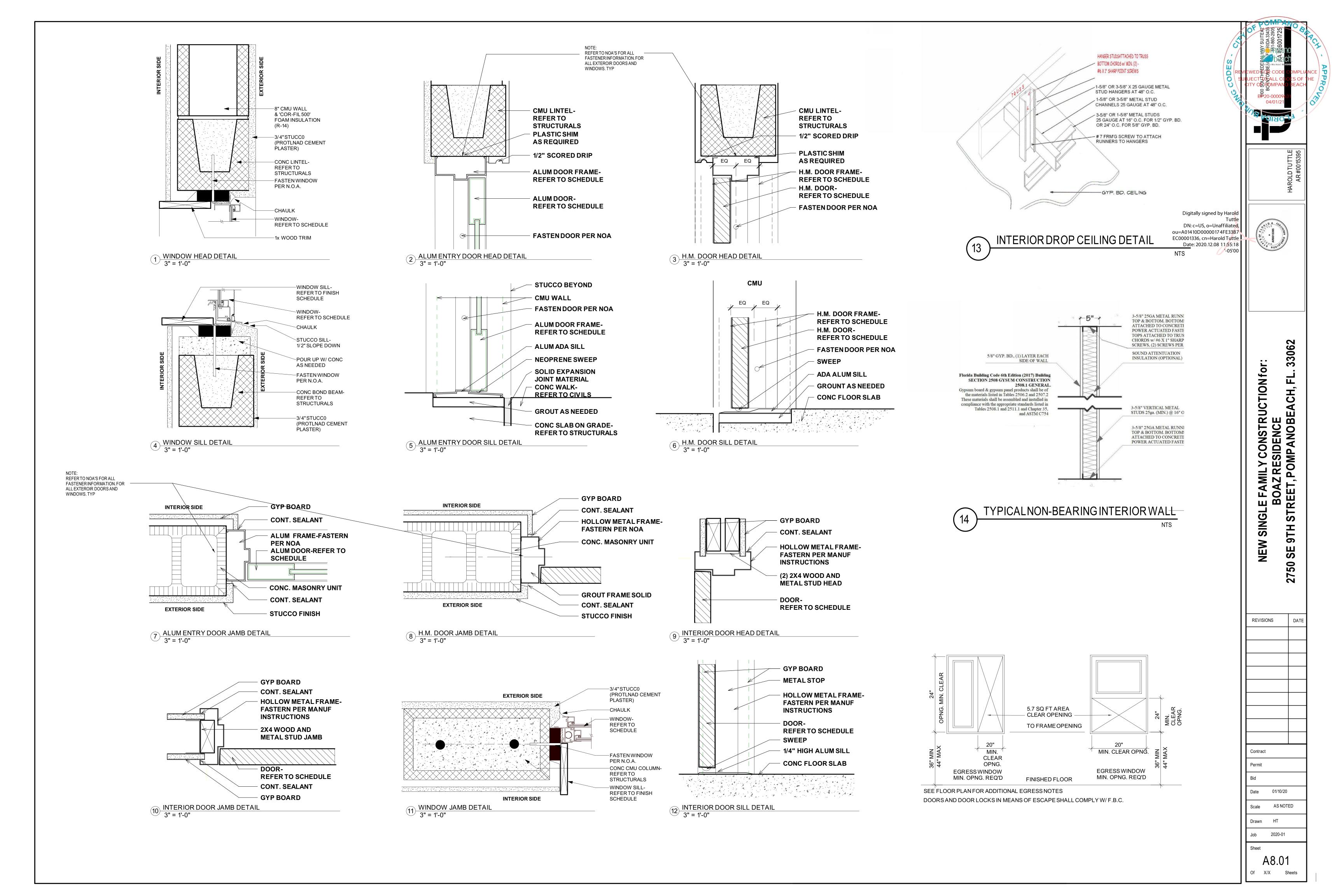
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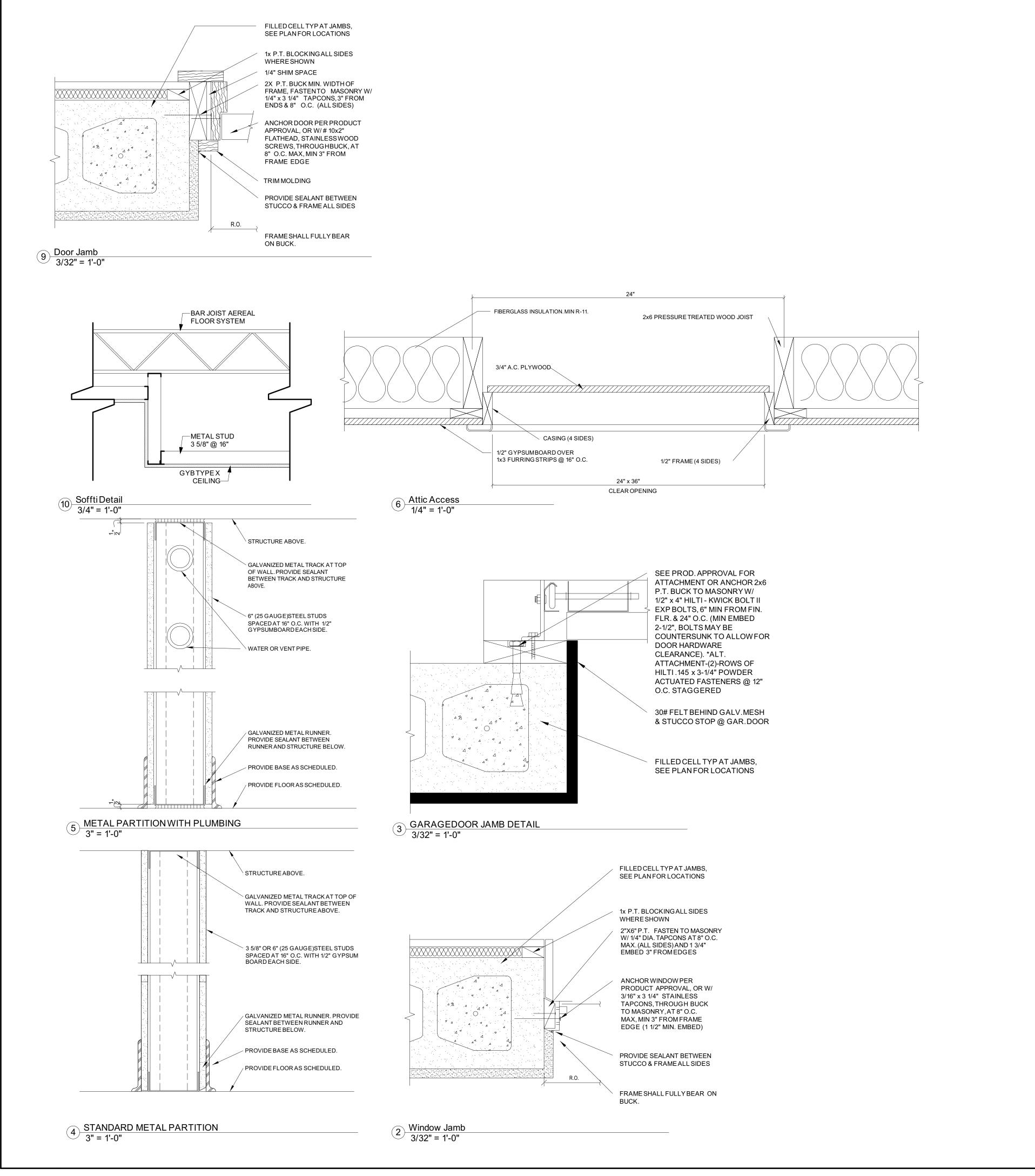
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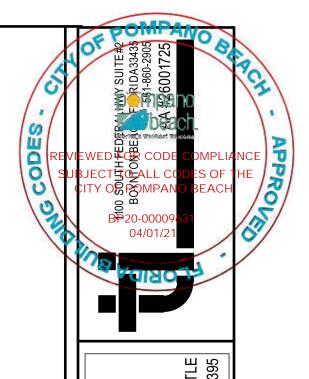
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REFLECTED CEILING PLAN 3/16"=1'-0"









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> SINGLE FAMILY CONSTRUCTION for: BOAZ RESIDENCE TH STREET, POMPANO BEACH, FL. 33062

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